

<u>AGENDA</u> <u>Regular City Council Meeting</u> <u>Monday, May 2, 2022, 6:00 PM</u> <u>Council Chambers, 116 First Street, Neptune Beach, Florida</u>

- 1. CALL TO ORDER / ROLL CALL / PLEDGE OF ALLEGIANCE
- 2. <u>AWARDS / PRESENTATIONS / RECOGNITION OF GUESTS</u>
 - A. North Florida Transportation Planning Organization (TPO) Clark Letter p. 3
- 3. APPROVAL OF MINUTES

A. <u>March 29, 2022, Special Roundtable City Council Meeting</u> <u>April 4, 2022, Regular City Council Meeting</u> p. 20 <u>April 18, 2022, Workshop City Council Meeting</u>

- 4. COMMENTS FROM THE PUBLIC
- 5. <u>COMMUNICATION / CORRESPONDENCE / REPORTS</u>
 - Mayor
 - City Council
 - City Manager
- City Attorney
- City Clerk
- Police Chief

6. <u>CONSENT AGENDA / NONE</u>

7. VARIANCES / SPECIAL EXCEPTIONS / DEVELOPMENT ORDERS

- A. <u>SE22-01</u> Special Exception Application -Juanita Stephens, 120 Lemon Street. The request $_{p.40}$ is to allow a part-time massage therapy suite to operate during daylight hours only.
- 8. ORDINANCES / NONE
- 9. OLD BUSINESS
 - A. <u>Resolution No. 2022-05</u>, A Resolution of the City of Neptune Beach, Florida, Modifying Parking Rates and Availability to Neptune Beach Residents
 - B. Consideration of Approval of Dancin' in the Street Event May 21, 2022 p. 82
 - C. Consideration of Approval of Neptune Beach Senior Activity Center RFP p. 85
- 10. NEW BUSINESS
 - A. Consideration of Approval for Server Upgrade p. 119
 - B. Consideration of Approval of Phase II of the Resiliency Lab StormSensor Project p. 172

11. COUNCIL COMMENTS

12. <u>ADJOURN</u>

Residents attending public meetings can use the code SF64 to validate their parking session at no cost. After 5:30 on the date of the meeting, follow these steps:

Make sure you are parked in a North Beaches public parking space - we can't validate valet parking or parking in private lots

To use a kiosk: Using a nearby kiosk, press the Start button and then select 2 to enter your plate and the validation code.

To use the Flowbird app: Tap the nearest yellow balloon and tap "Park here." From the payment screen, select "Redeem a code" at the top. Confirm your information and tap "Purchase" – the price will show "Free."



March 14, 2022

Agenda Item #2A TIP Presentation

The Honorable Elaine Brown, Mayor City of Neptune Beach 116 First Street Neptune Beach, FL 32266

Dear Mayor Brown,

The North Florida TPO is developing the *Transportation Improvement Program (TIP) for Fiscal Years 2022/2023 through 2026/2027*. The TIP identifies all publicly funded highway, transit and aviation projects within the North Florida TPO area which includes Clay, Duval, Nassau and St. Johns Counties.

To increase public involvement in developing the TIP and to inform the City of Neptune Beach City Council as to the projects planned and programmed for the area, Clark Letter would like to make a brief presentation at your **Monday**, **May 2** meeting. The presentation should be no more than 10 minutes and Clark will gladly answer any questions.

I look forward to hearing from you soon regarding this request.

Sincerely,

E de Jisús

Elizabeth De Jesus Transportation Programs Manager

NORTH FLORIDA TPO

Transportation Improvement Program FY 2022/23 - 2026/27

Beaches TIP Supplement

Draft April 2022



Phase	Fund Source	2022/23	2023/24	2024/25	2025/26	2026/27	Total
ATLANTIC	C BLVD (SR10) FROM KE		ASS TO MAYPORT ROAD	- 4454301		*N(on-SIS*
RESURFA	CING					Length:	4.013
		Respon	sible Agency: FDOT				
CST	LF	0	158,459	0	0	0	158,459
CST	DS	0	2,606,649	0	0	0	2,606,649
CST	DIH	0	45,298	0	0	0	45,298
CST	SA	0	556,123	0	0	0	556,123
CST	DDR	0	391,707	0	0	0	391,707
CST	ACNR	0	8,877,254	0	0	0	8,877,254
	Total	0	12,635,490	0	0	0	12,635,490
-	Prior Cost < 2022/23	1,297,119	Future Cost > 2026/27	0		Total Project Cost	13,932,609
	LVD (SR 212) FROM BEA CTION (MODIFY)		3RD ST (SR A1A) - 447359 Sible Agency: FDOT	91		*No Length:	on-SIS* 0.611
INTERSEC	CTION (MODIFY)	Respon	sible Agency: FDOT			Length:	0.611
INTERSEC	ACSS	Respon 0	nsible Agency: FDOT 779,177	0	0	Length: 0	0.611 779,177
INTERSEC	CTION (MODIFY)	Respon	sible Agency: FDOT		0 0	Length:	0.611
INTERSEC	ACSS	Respon 0	nsible Agency: FDOT 779,177	0		Length: 0	0.611 779,177
CST	ACSS Total Prior Cost < 2022/23	Respon 0 0 39,615	nsible Agency: FDOT 779,177 779,177	0 0 0	0	Length: 0 0 Total Project Cost	0.611 779,177 779,177
CST BEACH B	ACSS Total Prior Cost < 2022/23	Respon 0 0 39,615	sible Agency: FDOT 779,177 779,177 <i>Future Cost > 2026/27</i>	0 0 0	0	Length: 0 0 Total Project Cost	0.611 779,177 779,177 818,792
CST BEACH B	ACSS Total Prior Cost < 2022/23	Respon 0 0 39,615 ROM CEDAR SW	sible Agency: FDOT 779,177 779,177 <i>Future Cost > 2026/27</i>	0 0 0	0	Length: 0 0 Total Project Cost	0.611 779,177 779,177 <i>818,792</i> pn-SIS*
CST BEACH B	ACSS Total Prior Cost < 2022/23	Respon 0 0 39,615 ROM CEDAR SW	nsible Agency: FDOT 779,177 779,177 Future Cost > 2026/27	0 0 0	0	Length: 0 0 Total Project Cost	0.611 779,177 779,177 <i>818,792</i> on-SIS* 1.400 MI
CST BEACH BI DRAINAG	ACSS Total Prior Cost < 2022/23 LVD (US 90 / SR 212) FR E/RETENTION	Respon 0 39,615 ROM CEDAR SW Respon 57,141	nsible Agency: FDOT 779,177 779,177 Future Cost > 2026/27 /AMP CREEK TO BROUGH	0 0 0 HAM AVE - 432849	0	Length: 0 0 Total Project Cost *No Length:	0.611 779,177 779,177 <i>818,792</i> on-SIS* 1.400 MI 57,141
CST BEACH B DRAINAG DSB	ACSS Total Prior Cost < 2022/23 LVD (US 90 / SR 212) FR E/RETENTION	Respon 0 0 39,615 ROM CEDAR SW Respon	nsible Agency: FDOT 779,177 779,177 Future Cost > 2026/27 AMP CREEK TO BROUGH nsible Agency: FDOT 0	0 0 0 HAM AVE - 432849 0	0 I 0	Length: 0 0 Total Project Cost *No Length: 0	0.611 779,177 779,177 <i>818,792</i> on-SIS* 1.400 MI
CST CST BEACH BI DRAINAG DSB DSB DSB	ACSS Total Prior Cost < 2022/23 LVD (US 90 / SR 212) FR E/RETENTION DIH DDR	Respon 0 39,615 COM CEDAR SW Respon 57,141 2,165,754	Asible Agency: FDOT 779,177 779,177 Future Cost > 2026/27 AMP CREEK TO BROUGH Asible Agency: FDOT 0 0	0 0 	0 1 0 0	Length: 0 0 Total Project Cost *No Length: 0 0	0.611 779,177 779,177 <i>818,792</i> on-SIS* 1.400 MI 57,141 2,165,754

Phase	Fund Source	2022/23	2023/24	2024/25	2025/26	2026/27	Total
BEACH B	LVD (US 90 / SR 212)	FROM LINDEN A	VE TO MARION RD - 4324	031		*Nc	on-SIS*
TRAFFIC	SIGNAL UPDATE					Length: 2	2.685 MI
		Respor	sible Agency: FDOT				
RRU	LF	0	0	0	55,112	0	55,112
CST	DS	0	0	0	3,237,589	0	3,237,589
CST	DIH	0	0	0	80,940	0	80,940
CST	SA	0	0	0	880,220	0	880,220
CST	DDR	0	0	0	566,578	0	566,578
	Total	0	0	0	4,820,439	0	4,820,439
-	Prior Cost < 2022/23	1,032,288	Future Cost > 2026/27	0		Total Project Cost	5,852,727
BEACH B	LVD (US 90 / SR 212) F	ROM 12TH STRE	ET TO SRA1A - 4454201			*Nc	on-SIS*
RESURFA	CING					Length:	0.621
		Respor	sible Agency: FDOT				
CST	DIH	0	7,655	0	0	0	7,655
CST	SA	0	145,817	0	0	0	145,817
CST	DDR	0	798,923	0	0	0	798,923
CST	ACNR	0	1,258,470	0	0	0	1,258,470
	Total	0	2,210,865	0	0	0	2,210,865
-	Prior Cost < 2022/23	559,984	Future Cost > 2026/27	0		Total Project Cost	2,770,849

North Florida TPO Transportation Improvement Program - FY 2022/23 - 2026/27

Phase	Fund Source	2022/23	2023/24	2024/25	2025/26	2026/27	Total
BEACH BLY		OM ST JOHNS I	BLUFF TO GERONA DRIVE	E - 2097243		*No Length:	on-SIS* 3.769
		Respor	sible Agency: Managed by	y FDOT			
PE	DDR	400,000	0	0	0	0	400,000
PE	SA	179,737	0	0	0	0	179,737
PE	DS	472,367	0	0	0	0	472,367
CST	DS	0	0	15,633,296	0	0	15,633,296
CST	DIH	0	0	56,999	0	0	56,999
CST	SA	0	0	308,303	0	0	308,303
т	otal	1,052,104	0	15,998,598	0	0	17,050,702
	Prior Cost < 2022/23	298,237	Future Cost > 2026/27	0		Total Project Cost	17,348,939
BEACH BL	VD (US 90 / SR212) AT I	HODGES BLVD	- 4319552			*N(on-SIS*
NTERSECT	FION (MODIFY)					Length:	0.062
		Respor	sible Agency: Managed by	y FDOT			
CST	ARPA	928,651	0	0	0	0	928,651
	DS	26 162	0	0	0	0	
CST	03	36,163	0	0	0	•	36,163
CST CST	DIH	36,163 14,465	0	0	0	0	
			0 0	C C	0	-	14,465
CST CST	DIH	14,465	0 0 0	0	0	0	36,163 14,465 10,849 990,128

Phase	Fund Source	2022/23	2023/24	2024/25	2025/26	2026/27	Total
J TURNER	BUTLER (SR 202) / INT	ERCOASTAL W	ATERWAY BRIDGE NUMBE	ERS 720442 & 7205	09 - 4427801	*Nc	on-SIS*
BRIDGE-R	EPAIR/REHABILITATIO	Ν				Length:	.871
		Respor	sible Agency: FDOT				
CST	DIH	73,439	0	0	0	0	73,439
CST	BRRP	3,075,768	0	0	0	0	3,075,768
	Total	3,149,207	0	0	0	0	3,149,207
-	Prior Cost < 2022/23	280,248	Future Cost > 2026/27	0		Total Project Cost	3,429,455
J TURNER	BUTLER (SR202) FROM		AL WATERWAY BRIDGE TO	O SRA1A - 447128	1	*Nc	on-SIS*
J TURNER RESURFA		I INTERCOAST	AL WATERWAY BRIDGE TO	O SRA1A - 447128	1	*No Length: ·	
			AL WATERWAY BRIDGE TO nsible Agency: FDOT	O SRA1A - 447128	1		
				D SRA1A - 447128 0	1		
RESURFA	CING	Respor	sible Agency: FDOT			Length: [·]	1.794
RESURFA	DS	Respor	nsible Agency: FDOT 316,632			Length: [.] 0	1.794 316,632
CST CST	DS DH	Respor	sible Agency: FDOT 316,632 43,250			Length: ⁻ 0 0	1.794 316,632 43,250
CST CST CST CST	DS DIH SA	Respor	sible Agency: FDOT 316,632 43,250 670,615			Length: 0 0 0	1.794 316,632 43,250 670,615
CST CST CST CST CST CST	DS DIH SA DDR	Respor 0 0 0 0	nsible Agency: FDOT 316,632 43,250 670,615 2,272,270	0 0 0 0		Length: * 0 0 0 0	1.794 316,632 43,250 670,615 2,272,270

North Florida TPO Transportation Improvement Program - FY 2022/23 - 2026/27

Phase	Fund Source	2022/23	2023/24	2024/25	2025/26	2026/27	Total
SR 101 FF	ROM ATLANTIC BLVD TO	7TH STREET	- 4454281			*Nc	on-SIS*
RESURFA	ACING					Length: ().383
		Respor	sible Agency: Managed by	FDOT			
PE	DDR	830,386	0	0	0	0	830,386
PE	SA	71,542	0	0	0	0	71,542
CST	DIH	0	0	4,898	0	0	4,898
CST	SA	0	0	220,385	0	0	220,385
CST	DDR	0	0	295,072	0	0	295,072
CST	ACNR	0	0	979,494	0	0	979,494
	Total	901,928	0	1,499,849	0	0	2,401,777
	Prior Cost < 2022/23	44,382	Future Cost > 2026/27	0		Total Project Cost	2,446,159
SR A1A (I	US 105) FROM SHAD CRE	EK TO LITTLE	TALBOT ISLAND - 20944	14		*Nc	on-SIS*
RESURFA						Length: 2	2.67
		Respor	sible Agency: Managed by	FDOT		-	
PE	DDR	64,638	0	0	0	0	64,638
PE	SA	368,000	0	0	0	0	368,000
PE	DS	132,037	0	0	0	0	132,037
CST	DS	0	0	4,510,705	0	0	4,510,705
CST	DIH	0	0	15,933	0	0	15,933
CST	SA	0	0	223,237	0	0	223,237
	Total	564,675	0	4,749,875	0	0	5,314,550
	Prior Cost < 2022/23	112,916	Future Cost > 2026/27	0		Total Project Cost	5,427,466

North Florida TPO Transportation Improvement Program - FY 2022/23 - 2026/27

Phase	Fund Source	2022/23	2023/24	2024/25	2025/26	2026/27	Total
SR A1A/HI	ECKSCHER DR FROM H	UGUENOT PAR	K TO GEORGE RIVER BRII	DGE - 4331641		*No	on-SIS*
BIKE PATI	H/TRAIL					Length: .	573
		Respon	sible Agency: Managed by	FDOT			
CST	DIH	0	0	0	88,104	0	88,104
CST	TLWR	0	0	0	5,121,088	0	5,121,088
	Total	0	0	0	5,209,192	0	5,209,192
-	Prior Cost < 2022/23	1,542,872	Future Cost > 2026/27	0		Total Project Cost	6,752,064

APPENDIX I Abbreviations & Acronyms

ABBREVIATIONS AND FUNDING SOURCES

<u>AGENCIES</u>

FAA	Federal Aviation Administration
FHWA	Federal Highway Administration
FTA	Federal Transit Administration
JAA	Jacksonville Aviation Authority
JTA	Jacksonville Transportation Authority
SA/STJAA	St. Augustine/St. Johns County Airport Authority
	PROJECT PHASES
ADM	Administration
CAP	Capital
CST	Construction
DSB	Design Build
ENV	Environmental
INC	Contract Incentives
LAR	Local Advance Reimbursement

MNT	Bridge/Roadway/Contract Maintenance
MSC	Miscellaneous
OPS	Operations
PDE	Project, Development & Environment Study
PE	Preliminary Engineering
PLN	Planning
ROW	Right-of-Way Acquisition
RPY	Repayments
RRU	Railroad/Utilities

FUNDING SOURCES

ACBR	Advance Construction (BRT) – Federal Bridge Replacement
ACBZ	Advance Construction (BRTZ)
ACER	Advance Construction (ER)
ACCM	Advance Construction (CM)
ACEN	Advance Construction Equity Bonus National Highway
ACF0	Advance Construction for High Priority
ACFP	Advance Construction Freight Program (NFP)
ACIM	Advanced Construction Interstate

ACNP	Advance Construction (NHPP)
ACSA	Advanced Construction Transportation Management Areas
ACSB	Advance Construction for SABR STP Bridges
ACSE	Advanced Construction Enhancement
ACSH	Advanced Construction Hazard Elimination
ACSL	Advance Construction (SL)
ACSS	Advanced Construction Safety
ACSU	Advance Construction (SU)
BNBR	State Bonds (Statewide Bridges)
BNDS	Bond funding State
BNIR	Interstate R/W and Bridge Bonds
BRAC	Bridge Replacement
BRP	State Bridge Replacement
BRRP	State Bridge Repair and Rehabilitation
BRTZ	Federal Bridge Replacement - Off System
CIGP	County Incentive Grant Program
СМ	Congestion Mitigation
CMAQ	Congestion Mitigation Air Quality

D	Unrestricted State Primary
DDR	District Dedicated Revenue (Gas Tax effective January 1, 1991)
DEM	Environmental Mitigation
DDRF	District Dedicated Matching Revenue Funds
DI	Statewide Inter/Intrastate Highways
DIH	State In-House Product Support
DIS	Strategic Intermodal System
DITS	District Intelligent Transportation Systems
DPTO	District Public Transportation Office
DRA	Rest Areas - State 100%
DS	State Primary Highways and PTO
DSBJ	I-295 Express Lanes – Capital
DU	State Primary/Federal Reimb
DWS	Weight Stations – State 100%
EB	Equity Bonus
EBNH	Equity Bonus - National Highway
EM19	GAA Earmarks FY 2019
FAA	Federal Aviation Administration
FTA	Federal Transit Administration

FTAT	FHWA Transfer to FTA (NON-BUD)
GFSU	General Fund
GMR	General Revenue for Strategic Intermodal System
GRSC	Growth Management of SCOP
HPP	High Priority Projects
HRRR	High Risk Rural Road
HSID	Intersection Crashes
HSLD	Lane Departure Crashes
HSP	Highway Safety Program
IMAC	Interstate Maintenance
IMD	Interstate Maintenance Discrete
JAA	Jacksonville Airport Authority
LF	Local Funds
LFB	Local Funds Budget
LFP	Local Funds for Participating
LFR	Local Funds/Reimbursable
LFRF	Local Funds/Reimbursable - Future
LOGT	Local Option Gas Tax

MG	Minimum Guarantee
NFPD	National Freight PGM-Discretionary
NHAC	National Highway System
NHBR	National Highway Bridges
NHPP	IM, Bridge Repl, Natnl Hwy-MAP 21
NHRE	Nat. Hwy. Perform – Resurfacing
NSTP	New Starts Transit Program
PKBD	Turnpike Master Bond Fund
PKYI	Turnpike Improvement
PKLF	Local Support for Turnpike
PLH	Public Lands Highway
PLHD	Public Lands Highway Discretionary
PORT	Seaports
REPE	Repurposed Federal Earmarks
RHH	Rail Highway Crossings - Hazard
RHP	Rail-Highway Safety Crossings – Prot. Dev.
SA	Transportation Management Areas
SCED	2012 SB1998-Small County Outreach
SCOP	Small County Outreach Program

SCRA	Small County Resurfacing
SIWR	2015 SB2514A-Strategic INT SYS
SE	Transportation Enhancement Activities related to any Surface Transportation Program
SH	Hazard Elimination
SIBG	SIB funds – Growth Management
SIB1	State Infrastructure Bank
SL	STP Areas <=200K
SN	STP, Mandatory Non-Urban <=5K
SR	Surface Transportation Program (STP) Railroad Hazard Elimination
SR2T	Safe Routes - Transfer
SS	Any safety improvement eligible under the Section 130 Railway-Highway Crossings Program and the Section 152 Hazard Elimination Program (allocated by statutory formula)
STED	2012 SB1998-Strategic Econ Cor
STP	Surface Transportation Program
SU, XU	Surface Transportation Program (STP) in urban areas with a population of over 200,000
TALT	Transportation Alts – Any Area
TALU	Transportation Alts - >200K
TDTF	Transportation Disadvantaged Trust Fund (80% Federal/20% State)
TGR	Tiger Grant through FHWA

TLWR	Suntrail	
ТМВЈ	I-95 Express Lanes – Maintenance	
ТОВЈ	I-95 Expressway Lanes - Operating	
ТМА	Transportation Management Areas - Areas with a population of over 200,000	
TRIP	Transportation Regional Incentive Program	
TRWR	TRIP Wheels on Road	
ХА	Surface Transportation Program (STP) in any urban areas.	
XU, SU	Surface Transportation Program (STP) in urban areas > 200k	



MINUTES ROUNDTABLE CITY COUNCIL MEETING TUESDAY, MARCH 29, 2022, 6:00 P.M. NEPTUNE BEACH CITY HALL 116 FIRST STREET NEPTUNE BEACH, FLORIDA 32266

Pursuant to proper notice, a RoundtablerCity Council Meeting of the City Council of the City of Neptune Beach was held on Tuesday, March 29, 2022, at 6:00 p.m., at Neptune Beach City Hall, 116 First Street, Neptune Beach, Florida 32266.

Attendance:

IN ATTENDANCE: Mayor Elaine Brown Vice Mayor Kerry Chin Councilor Lauren Key (absent) Councilor Nia Livingston Councilor Josh Messinger STAFF:

City Manager Stefen Wynn City Attorney Zachary Roth Community Development Director Samantha Brisolara Code Compliance Supervisor Piper Turner City Clerk Catherine Ponson

Community Development Board Members: Rene Atayan, Bob Frosio, Charles Moore, William Randolph, Greg Schwartzenberger, Anthony Mazzola, Jonathan Raiti

Call to Order/Roll Mayor Brown called the Roundtable Meeting to order at 6:00 p.m. and led the Pledge of Allegiance.

City Manager Stefen Wynn explained where the City is in the process of the Land Development Code (LDC) revision. The City is in Phase 3 of the Vision Plan, which is the LDC rewrite. The LDC rewrite is 80% completed. He stated there would be 12 opportunities for public comment. If someone wants to speak they can fill out one form and list the topics they want to address. There are some topics that the City wants further clarification on, so we can write a Code that is tailored to our residents.

The decisions that are made at this meeting are not the final draft. This is giving staff direction in the way that residents and Council approve. The Community Development Board (CDB) will have a chance to review at their meeting on the second Wednesday in May. There would be opportunity for public comment again. The first read of the LDC draft in its entirety will be the first Council meeting of the month on June 6. This will be another opportunity for public comment. There will be a Council workshop on June 20 and then the final read on July 5.

1.Section 27-239, Table 27-239: Side Setbacks in the RC Overlay

Presentation of Community Development Director Samantha Brisolara explained the proposed side setback in the RC (Residential Conservation) Overlay is five feet. It is measured from the side of the structure to the property line. The optional language would be to have seven-foot setbacks. The current Code requires seven feet.

Council Comments Councilor Livingston asked how the RC Overlay is defined

Ms. Brisolara remarked that the RC Overlay is specific to east of Third Street. It has specific architectural elements that are required for that area. The idea for the setback is to allow a garage to the side with a 40 or 50-foot lot.

Councilor Livingston commented that she thinks the side setback should be kept at seven feet. The RC Overlay areas is already fighting for space. We need to keep whatever distance between homes that we can for privacy.

Councilor Messinger stated that, as he stated in the last meeting, he believes the setback should stay at seven. It differentiates us from our neighbors to the south. It leaves more space for greenery. We have looked at our tree language and we are protecting trees and encouraging more trees on the property. For this item, it should remain at seven.

Vice Mayor Chin agrees to keep side setback at seven feet. This is something that has already existed. If it is reduced, you start introducing issues that we already face with homes that don't have a seven-foot setback, such as storing garbage cans in front. The law states it should be on the side of your house, but if you don't have any room to do that, then it starts to contribute to a look of blight. It is also good for safety reasons if emergency personnel services need to get to the backside of the house, they won't be able to if we start encroaching on the side yard setbacks. In that case, he would agree with his fellow Councilors.

Mayor Brown remarked that she agrees with staff and Council to leave the setback at seven feet.

Public Comment Sharon Jachim, 1716 Strand Street, Neptune Beach, stated the overlays are extraneous to our communities and reduces the electric charm. She does not know why this is being discussed. She is opposed to any overlay, not only the RC but also the NC Overlay.

David Blais, 800 1st Street, Neptune Beach, agreed with Ms. Jachim. He is not sure where the changes came from and it seems like we shouldn't be up here. He agrees the setbacks should be kept at seven feet. We love the way that things are now and anything that is going to allow rampant development and larger houses is not going to make the neighborhood better.

Nicole De Venoge, 617 Oak Street, Neptune Beach, spoke regarding flood control. She added that when greenspace is reduced, we are directly impacting our flood mitigation and resiliency.

Staff Clarification Ms. Brisolara summarized that seven-foot side setbacks are beneficial for fire safety, enhanced privacy, larger side yards, and reduction of structure size.

The consensus is to keep side setbacks in the RC Overlay at seven feet

2.Section 27-239(c)(1): Upper Point of Reference for Building Height

Presentation of Ms. Brisolara stated that the proposed Code language is The upper point of reference for determining the height of a structure shall be the average of the highest and lowest point on the roof, not including any of the exceptions in subsection (b). Subsection (b) lists church steeples, chimneys, flag poles, water towers, heating and air conditioning units, solar collectors, and similar fixtures (with additional restrictions).

The optional language is the upper point of reference for determining the height of a building or structure shall be the ridge, or highest point of the roof structure excluding all exceptions in subsection (b).

Council Comment Councilor Messinger likes the proposed staff recommendation, but his concern is he does not want to encourage all flat roofs. He is okay with not getting into a formula. He asked if there was a mechanism that can allow a little bit more of a point or shape on the roof architecturally speaking. He would also like to see if there is a way to keep building height down and not go outside of the 28 feet, but still allow for character

One of his biggest concerns is seeing a lot of spec homes come in that are just trying to put as much as they can and not being respectful of the community or character of the community.

Ms. Brisolara advised that we can always add a requirement for a sloped roof. The Code currently is 5:12.

Councilor Messinger stated he does not want to prevent someone from being able to build a modern house. There have been beautiful modern houses built in Neptune Beach and they add to our eclectic character. He does not want a Code that forces people more into the modern approach just because that allows them to get their ceiling height when doing calculations. He does not want anything that would compromise the 28-foot building height.

Vice Mayor Chin supports the proposed language from staff which is to simplify where you determine the upper point. He does not want people to be able to try figure out a way to game the system and get as high as they can by using the average calculation language and working around it. In terms of whether or not there is an issue with a flat roof, that may be something that can be controlled by making requirements or through the much demonized form-based code, which is what actually determines what people can build in terms of form and shape. He is fine with staff language as it is. He added that intentions of Councils in the past, especially with the height limit, were to keep as much as possible residential homes, east of Third, at two stories. He can't totally speak for those past Councils, but he thinks that was their intention.

Councilor Livingston stated that this seems to be wrapping up a little bit tighter rather than the general description that we currently have. With the proposed language, we now have a lower point of reference and an upper point of reference. Since we are going through the entire process of rewriting the Code, this is the time to make it tighter.

Ms. Brisolara clarified that currently there wasn't an actual upper point of reference for staff to measure building height. The City was using the ridge because it was the highest point to go to.

Mayor Brown stated that she supports staff recommendation and consistency is what we need.

Public Comment Mary Frosio, 1830 Nightfall Drive, Neptune Beach, spoke regarding building height measurement. She stated that we want to be sure our Code prohibits the use of weighted average height calculation. She stated in San Marco, a developer was able to build a 49.5-foot apartment building in a 35-foot maximum height area using weighted average height calculation. She explained with weighted averages, you take the average of several heights. They used some existing buildings that were very, very short.

Jonathan Raiti, CDB member, asked for consideration on how the ground level is being raised.

David Blais, 800 1st Street, Neptune Beach, agreed with Council that it is appropriate to leave the height at 28 feet, especially with what is being built now.

Nicole De Venoge, 617 Oak Street, Neptune Beach, stated that a lot of cities are putting in flat roofs to offset the heat island effect. A lot of things should be considered when saying no and look at what's happening around us.

Sharon Jachim, 1716 Strand Street, Neptune Beach, stated the proposals we are looking at don't include the current language. She requested to keep things simple and not require interpretation.

Staff Clarification Ms. Brisolara clarified that to enforce the height limitation, it is more efficient to measure the height to the ridgeline of the structure or highest point of the structure. This ensures consistent measurement throughout the City and there are no loopholes in measurement standard.

3.Section 27-236(e)(2)-(labeled (c)(2) on p. 38 of draft): Use of Arcades in the CBD (Central Business District)

- Presentation of Ms. Brisolara explained that arcades are an architectural option for redevelopment in the Central Business District. The proposed language includes arcades in the CBD. Arcades are a series of arches supported by columns or piers. This provides a sheltered walkway for pedestrians.
- Council Comment Vice Mayor Chin stated he already commented to staff he is opposed to having arcades in the CBD. It calls into questions a lot of issues with no insurance and indemnification. There are a lot of risks when there is a private use overhanging the right-of-way. Plus, the way our agreements work is that there are businesses that are leasing the use of the City right-of-way. If we let them overhang a section of building over it and the City takes that back, how would we reclaim that. He thinks we should remove the proposal of arcades.

Councilor Livingston concurred with Vice Mayor Chin.

Councilor Messinger commented as he expressed at the last meeting, it's a hazard. The slippery slope of allowing not just a temporary structure or outdoor seating, but a physical structure that can be multiple stories high to be over the right-of-way, not only just from a utility standpoint, is not a path we want to go down. He is in concurrence with the staff recommendation of removing arcades.

Mayor Brown concurs with her colleagues and staff.

Public Comment None

Staff Clarification Ms. Brisolara provided that arcades structurally hold a second level of building area and it can be very difficult to reclaim something that has a structural building over the top of it, especially in the City's right-of-way. It is difficult to service underground utilities and shallow right-of-way creates more conflict points for malfunction.

4.Section 27-235(a)(5): Encroachment of Porches and Stoops into Setbacks

- Presentation of Ms. Brisolara explained that in the proposed language, porches and stoops are permitted to encroach 10 feet into the front and side setbacks. Optional code language is porches and stoops are permitted to encroach the front setback by five feet. Encroachment on the side setback shall only be 3 feet.
- Council Comment Councilor Livingston stated she agrees with the proposed optional language. She commented that if we are talking about encroaching up to ten feet, even though it is a porch or a stoop, the purpose and goal of our quaint community is not taking a lot and covering it with concrete and porch. It is nice to have a yard and greenspace. We need to have as much space between our neighbors as we can.

Councilor Messinger supports the optional language as well. He added that the CDB has approved variances for small porches on the front because they add to the character of the Community and support the neighborly culture.

Vice Mayor Chin stated in the Code it states a porch and stoops could never be enclosed. His concern is someone will build a porch into the setback, and later on have it enclosed, and now they have an interior space violating the setback requirement. He asked if we could say that you cannot ask for a variance for that purpose.

Ms. Brisolara answered that as part of the permitting process, the City can make it a condition of the permit.

Vice Mayor Chin responded he is okay with the language if a condition is applied. He is not so sure that he agrees with the side setback of three feet.

Mayor Brown stated she agrees with what we need the encroachments and setbacks to be for privacy and to protect the neighborhood. She agrees with staff recommendation.

Ms. Brisolara explained that the most someone could go into a setback is three feet.

Vice Mayor Chin expressed that he is not sure he agrees on allowing a side encroachment for a side porch. People have mentioned there are concerns about privacy and noise from neighbors on the side. This would encourage generating noise from the side and he is weary of encouraging something on the side.

Public Comment Jonathan Raiti, CDB Member, 224 Bowles Street, Neptune Beach, agrees with Councilor Messinger regarding front porches in fostering a neighborly community. He agrees with Vice Mayor Chin on the side setbacks.

David Blais, 800 1st Street, Neptune Beach, echoed Vice Mayor Chin's comments that the side would encroach too much and not be fair to neighbors.

Ms. Brisolara asked for a consensus on the side setback.

Vice Mayor Chin proposed striking the encroachment on the side setback.

Councilor Livingston stated that she sees Vice Mayor Chin's point and we should be consistent.

Councilor Messinger he is okay with the language that allows the three feet for functional purposes but it can't be a ground floor structure. He would agree with eliminating the encroachment for a ground structure and things of that nature, but we allow the encroachment for an awning or that type of structure to keep someone out of the rain.

Staff Clarification Ms. Brisolara explained that encroachment of the entire front setback is not beneficial to property owners or the city, future sidewalk placement could be compromised, visibility issues when pulling into traffic, and allowing for a smaller encroachment provides a buffer to mitigate the issues listed.

5. Section 27-235(a)(8): Encroachment of Uncovered/Unenclosed Outdoor Structures into Setbacks

Presentation of Ms. Brisolara explained that she had spoken with Councilor Messinger and since this is for the entire City, the proposed language should stay, which is "uncovered or unenclosed outdoor structures may encroach a maximum of 15 feet into the required rear yard setback but shall be no closer than five feet from any rear property line."

Council Comment Councilor Messinger stated that the proposed language is perfect for the character of the City. The optional language would have created a huge problem in some of the other sections of the City with massive structures being able to spring up.

Vice Mayor Chin concurs and has nothing to add.

Councilor Livingston commented that with some of these sections, we are trying to make it a little too convoluted and that is where the CDB is going to have problems. If we can keep it tight, that is the way to go.

Mayor Brown concurs with her colleagues.

Public Comment None

Staff Clarification Ms. Brisolara summarized that this language refers to outdoor structures for the entire city and mitigates placement of very large structures close to property lines on larger lots west of 3rd Street.

6. Section 27-239, Table 27-239: Lot sizes in R-4 and RC Overlay

Staff recommends requiring 50-foot lots but allowing 49-foot and smaller lots be deemed conforming as of the date of the moratorium. The larger lot sizes help to accommodate architectural standards required, provide additional space for off-street parking, and aid in the future reduction in density for the area.

City Attorney Zachary Roth stated that before the moratorium in place, people were subdividing 80-foot lots into two 40-foot lots or 120-foot lots into three 40-foot lots and did so legally under our Code. They had certain investment-backed expectations. Once we put them on notice that we put the moratorium in place and intended to change the lot sizes.

Council Comment Councilor Messinger stated that what Mr. Roth stated is one of the reasons he implemented the lot split moratorium. With what we are addressing with these Codes, we will be able to save a lot of our community character. He is in support of the staff recommendation.

Vice Mayor Chin supports the staff recommendation. He gave a history of the lot size. He reported that many years ago, the City had a minimum lot width of 50 feet in R-4. There were a small number of lots that were smaller at 40 feet. If they wanted to do something on their property, within the zoning requirements, they still had to request a variance because their lot was nonconforming. The Community Development Director back then stated if the lot width was changed to 40 feet, those lots would become compliant. The City did not contemplate people would buy up multiple lots and divide them into many 40 - foot lots.

Councilor Livingston stated she agrees with what has been said. There was a lot of lot splitting before the moratorium but we had to go by the way the Code was written.

Mayor Brown stated she concurs with her colleagues.

Public Comment Mary Frosio, 1830 Nightfall Drive, Neptune Beach, stated she is in total agreement and thanked Councilor Messinger for putting the moratorium on lot splitting in place. No one wants to have a house on a 40-foot lot next to them.

Staff Clarification Ms. Brisolara remarked that the standard platted lot size in the RC Overlay is 50 feet. Smaller lots are able to continue to exist as conforming lots with the suggested caveat. It helps reduce the density of the area and allows for additional green space.

Section 27-239, Table 27-239: Lot Coverage in the RC Overlay

Presentation of Ms. Brisolara reported that the proposed lot coverage in the RC Overlay is 60%. Currently, the lot coverage is 50%. Staff is recommending keeping the lot coverage at 50%.

Council Comment Vice Mayor Chin commented he agrees with the staff. We are dealing with more frequent heavy storm events and resiliency issues. The green space helps to mitigate ambient heat. More green takes away from the heat island effect we would have if we were all starting to concrete up. He reiterated he fully supports staff recommendation.

Councilor Livingston stated it has been at 50% and should stay at 50%. She does not see a reason to change it.

Councilor Messinger remarked that he fully agrees and it should stay at 50%. Not only are we having more frequent, but also heavier storm events which affect our infrastructure. Additionally, when we look at bringing in more trees, this continues to build on that trend by not reducing our coverages. He is in full support of the recommended language.

Mayor Brown is in support of the recommended language.

Public Comment Jonathan Raiti, CDB Member, 224 Bowles Street, questioned earlier drafts and it was going off of gross site area. He asked if that includes that section of the right-of-way.

Ms. Brisolara stated that needs further tightening up. The right-of-way that is included is for new development.

Mr. Raiti likes the idea of 50% just with the caveat to not include that section of right-ofway.

Scott Wiley, 723 Davis Road, Neptune Beach, stated that he agrees with Mr. Raiti and the lot coverage should be your lot and not the right-of-way.

David Blais, 800 1st Street, Neptune Beach, agrees with Mr. Raiti and Mr. Wiley.

Staff Clarification Ms. Brisolara reported that RC Overlay is prone to stormwater flooding. The reduction of lot coverage aims to mitigate stormwater on site through pervious surfaces and allows for reduction of building and accessory structure size.

8. Section 27-239, Table 27-239: Minimum Lot Sizes for Duplexes

Presentation of Ms. Brisolara stated that she had communicated with Councilor Key regarding this. The proposed language is minimum lot size for duplexes shall be 5,000 square feet or 2,500 square feet if fee simple. They may additionally have a lot width of 20' for two fee simple lots.

Optional code language would be minimum lot size for duplexes shall be 8,000 square feet. For fee simple lots, the minimum lot size shall be 5,000 square feet. The minimum lot width for a duplex is 80 feet. Fee simple duplex lots shall have a minimum lot width of 50 feet. All densities for residential uses shall be rounded to the nearest whole number

Ms. Brisolara added that Councilor Key thought that 8,000 square feet was a bit too big and that 6,000 square feet would be okay.

Staff recommends allowing duplexes with larger lot sizes and providing caveats to meet density calculations. Further language may be added in the land use section or non-conforming section (yet to come) to allow for retrofitting of existing duplexes to reducing any created non-conformities due to lot size restraints.

Council Comment Councilor Livingston commented that she supports the optional language is more consistent with what we have already been doing.

Councilor Messinger stated there are elements of the optional language he supports and then there are elements of the staff recommendation that he supports. He is for 8,000 square feet to allow two units to be placed, fee simple or otherwise, based on not wanting to increase density. He likes the language where staff says we further language can be added for nonconforming sections. We have a great community that is very eclectic and he does not want to get rid of all of our multi-family structures. He wants people to be able to improve those structures.

Vice Mayor Chin requested Ms. Brisolara to explain what is meant by fee simple.

Ms. Brisolara explained that fee simple means if you have a duplex and one side is owned by one owner and the other side is owned by another person.

Vice Mayor Chin stated we should stay with the 8,000 square feet all the way.

Councilor Messinger suggested we should write the Code so structures can't go fee simple but can make improvements and not be stuck in limbo.

Ms. Brisolara advised the language could be 8,000 square feet minimum lot size with a caveat for 40-foot lot for fee simple for duplexes only.

Public Comment Scott Wiley, 723 Davis Street, Neptune Beach, stated that density is a problem and agrees that 8,000 square feet is appropriate.

Staff Clarification Ms. Brisolara stated that to promote a reduction in density, duplexes will need to be on larger lots. Current duplexes on smaller lots will be considered conforming based on the lot size caveat of November 1, 2021. Major redevelopment (50% or more of the structure) outside of a natural disaster, would not allow for redevelopment of a duplex on a smaller lot.

9. Section 27-243(b)(2)e., i., ii: (is labeled 27-243(b)(2)f.,i.,ii. on p. 54 of draft) Garage Setbacks in the RC Overlay

Presentation of Ms. Brisolara reported that the proposed language is garages are required to be setback a minimum of 10 feet behind the primary building façade facing the street and sidewalk in the RC Overlay. The optional language is to remove the setback language.

Council Comment Councilor Messinger stated he hoped for more options. His concern is we would be losing our character if a home is mostly driveway or garage. He would like some kind of language to address this so First Street does not become a parking lot. He agrees the setback should be changed but this needs to come back to Council with more options so we don't lose our community character.

Vice Mayor Chin commented that he is okay with staff recommendation right now because looking at that section of the proposed language, it is a much more complicated issue than be simply solved in the immediate time. He is not opposed to seeing more options.

Councilor Livingston agrees with the staff recommendation. She is concerned that if we were to put something in there, from here on out, we will see the same thing. She is willing to see other options.

Mayor Brown stated she believes in allowing people to design their own home. There is a lot to do to make it conform and fit to the neighborhood. She supports the staff recommendation.

Public Comment Jonathan Raiti, CDB Member, 224 Bowles Street, Neptune Beach, stated that sensitivity to the facts of the marketplace right now. The more options we have, the better.

Chris Goodin, former chair of the CDB, 220 Hopkins Street, Neptune Beach, stated the main thing is character. He added that if we leave everything as it is, our character will change and will not be the eclectic character that we have today.

Staff Clarification Ms. Brisolara summarized that the requirement of garage setback encourages "cookie cutter" housing. Removing the garage setback encourages a variety in architectural choice If a 7-foot setback is applied, having a garage on the side of a home would be difficult without side yard encroachment and too much encroachment violates Florida Fire Codes.

10. Section 27-243(b)(2)e.,vi. (is labeled 27-243(b)(2)f.,vi. on p. 55 of draft): Garage Doors Visible from Street

Presentation of Ms. Brisolara explained that the proposed language is no more than two garage doors shall be visible from the street, and they shall not exceed a maximum width of 9' each, though exceptions for garages meant to accommodate RVs and boat trailers may be allowed a width of 12 feet.

Optional Code language is to remove limitation on number and width of garage doors.

Staff recommends removing the limitations on garage doors, sizes, and types to promote off-street parking and encourage parking residents to park on their property and out of the right-of-way.

Council Comment Vice Mayor Chin agrees with the staff recommendation although he is not opposed to looking at additional ideas. He wants to let people build as they need to build depending on their specific context.

Councilor Livingston is open to looking at other language but she thinks it should be left up to what you want. Putting too much restriction removes some of the creativity.

Councilor Messinger stated we do need to protect the City from the cookie cutter spec nature but we need to have more options to look at how we can address some of the concerns addressed. If we don't have something in place, we would fundamentally lose our character.

Mayor Brown supports staff recommendation. She likes seeing the kind of diversity by leaving it up to the owner.

Public Comment Mary Frosio, 1830 Nightfall Drive, Neptune Beach, stated it is a balancing act. You are not going to make everyone happy. She thanked Council for all they do.

Mark Waddell, 617 Oak Street, Neptune Beach, agrees with the philosophy of not having cookie cutter houses. His concern is if you remove limitations, you could end up with an enormous garage doors. He doesn't understand how you can not have some sort of limitations.

Staff Clarification Ms. Brisolara stated that removal of the language allows for variety and choice. The size and number of garages also leads to housing looking the same ("cookie cutter"). You are unlikely to fit two-car garages on smaller lots and there are existing three car garages in the RC Overlay.

11.Section 27-226(h): Proposed Addition of Uses to C-1

Presentation of Item

Ms. Brisolara presented the proposed language as follows: C-1 Proposes to add the following uses: Bed and breakfast; Interior Service Restaurant, Carry-out, and Delivery Restaurants with outdoor seating on private property; Personal Service Establishments; Dance, Art, Dramatic, Gymnastics, Music Studio; Social, Fraternal Club, Lodge, and Union Hall.

Optional language is to remove bed and breakfast; Remove Outdoor Dining on Private and Public Property. Special Exception (means additional conditions): Interior Service, Carryout, and Delivery Restaurants; Dance, Art, Dramatic, Gymnastics, and Music Studio; Social, Fraternal Club, Lodge, and Union Hall

Staff recommends reducing the intensity of the uses in the C-1 area and only allowing more intense uses by special exception. This will allow staff, the CDB, and City Council to thoroughly vet and review the potential impacts of the use to surrounding areas.

Council Comment Councilor Livingston stated that she thinks that if there is going to be something as a special exception then it needs to be defined. I think that you look at what is appropriate for the location. She doesn't want to see anything that is increasing the C-1 area to a high intensity area. There are things you can do to safeguard that in the special exception. She likes that the outdoor seating was removed. She agrees with the staff recommendation but we need to add more restrictions and have it be clear.

Councilor Messinger agrees with Councilor Livingston. He stated that as it is written is too vague. He wants to encourage positive use while at the same time not allowing late night operations. He requested to come back with the best recommendation that is clear and not ambiguous. We want to make it appropriate for our community. This should be flushed out and come back in a very specific manner versus the vague manner it is currently written in.

Ms. Brisolara pointed out that bars and taverns had been removed previously.

Vice Mayor Chin reiterated he is wary of anything that increases the intensity of the usage, especially in that corridor. It could bring issues with traffic. He is initially opposed to the interior service restaurants. He is interested in Councilor Messinger's request to beef up the language. He would like to see if preconditions so that if you want to apply for a special exception interior service restaurant, you could be forewarned of the restrictions such as business hours, etc.

Mr. Roth confirmed Councilor Messinger's inquiry that if we put those requirements in the Code, this would remove any ambiguity and remove any ability future body to interpret it.

Mayor Brown remarked to leave C-1 alone. She would have to look at the language to see any of the changes.

Public Comment The following speakers addressed Council regarding Item #11, Proposed Additions of Uses to C-1:

Mark Waddell, 617 Oak Street Nicole De Venoge, 617 Oak Street Darnelle Townsend, 1327 Trailwood Drive Joseph King, 517 McCollum Circle Steve Hould, 111 Walnut Street Bob Harding, 839 4th Street Monica Marrera, 415 McCollum Circle Brett Goddard, 541 Oleander Street Shellie Thole, 124 Margaret Street Scott Wiley, 723 Davis Street Jonathan Raiti, 224 Bowles Street David Blais, 800 1st Street Matt Wilson, 218 First Street, President, BTC Merchants Association

Staff Clarification Ms. Brisolara stated from a planning perspective increase of telework (post COVID) reduces investor drive to fund office spaces diversifying the uses in C-1 promotes city viability; restaurants aid in job creation and community atmosphere. Due to required side setbacks in C-1, no strip malls would be permitted. Special exception allows for additional conditions such as required closing times, enhanced buffering, and other requirements to reduce conflict with neighboring residential uses. The removal of outdoor seating aids in noise abatement.

12. Sections 27-226 and 27-245: PUDs in C-1, C-2, C-3, and CBD

Presentation of Ms. Brisolara stated that the proposed Land Development Code allows PUDs in C-1, C-2, C-3, and the CBD

Optional code language is to remove the PUD language is its entirety.

Staff recommendation is PUD's can enhance public benefits and allow for unique urban design if utilized and worded properly. Staff recommends removing the PUD language from this iteration of the Land Development Code and preparing a stringent and enforceable PUD section for future addition to the code.

Council Comment Councilor Messinger stated that one of the biggest concerns with the PUD was the residential component and how poorly written it was in the past and conflicted with our Comprehensive Plan. We introduced the moratorium as it was causing problems. They allow greater restrictions and creativity. He is in favor of the staff recommendation by keeping the PUD because of how it is written now.

Vice Mayor Chin commented that he was under the impression that there are places that would be considered PUDs and if we remove the PUD language, we would lose control of those properties. Ms. Brisolara stated there were no PUDs.

Vice Mayor Chin stated he is fine with the staff recommendation. We should take the time to get something that is super tight and add more to the public benefit.

Councilor Livingston stated she agrees with staff recommendation and tighten up the public benefit section.

Mayor Brown supports staff recommendation. She is against the PUD language as it has been. She would like to see the language that is coming forward.

Public Comment Nicole De Venoge, 617 Oak Street, Neptune Beach, stated that in terms of the PUD we are opening ourselves up to a lot of issues. The community would like more clarification.

Brett Goddard, 541 Oleander Street, Neptune Beach, stated that a PUD can be a useful tool and can also be a problem when a Council or staff does not pay attention. It should not be encouraged in this rewrite.

Scott Wiley, 723 Davis Street, Neptune Beach, stated we need to remove the PUD and he agrees with staff to look at it and bring it back later.

Mary Frosio, 1839 Nightfall Drive, Neptune Beach, stated the reason for the lawsuit with 500 Atlantic, was it was poorly written. She spoke regarding having a PUD without residential. She said she is satisfied as there will not be residential in the PUD.

Staff Clarification Ms. Brisolara stated that regarding the PUD, no residential components shall be allowed in Neptune Beach. Public benefit equals valuation of variance. Public benefits can be sidewalk installation, upgraded stormwater mitigation, and additional shade trees, benches, bicycle racks throughout the city. Removal of the language in its entirety can be done and revisited in the future, but it is recommended that the PUD language be allowed for a public benefit option that is not as easily achieved through special exception Mayor Brown thanked everyone that came forward and showed their concern for Neptune Final City Council Comments Beach and the quality of life. City Manager City Manager Stefen Wynn reminded everyone of the Stormwater Study Open House with consultant Jones Edmunds scheduled for Wednesday, March 30, 5:00 p.m., in Council Chambers. Adjournment There being no further business, the Special Meeting adjourned at 9:01 p.m.

Elaine Brown, Mayor

ATTEST:

Catherine Ponson, CMC City Clerk

Approved: _____

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MINUTES REGULAR CITY COUNCIL MEETING MONDAY, APRIL 4, 2022, 6:00 P.M. NEPTUNE BEACH CITY HALL 116 FIRST STREET NEPTUNE BEACH, FLORIDA 32266

Pursuant to proper notice, a Regular City Council Meeting of the City Council of the City of Neptune Beach was held on Monday, April 4, 2022, at 6:00 p.m., at Neptune Beach City Hall, 116 First Street, Neptune Beach, Florida 32266.

Attendance:

IN ATTENDANCE: Mayor Elaine Brown Vice Mayor Kerry Chin Councilor Lauren Key (absent) Councilor Nia Livingston Councilor Josh Messinger STAFF: City Manager Stefen Wynn City Attorney Zachary Roth Police Chief Richard Pike Commander Michael Key Commander Gary Snyder Chief Financial Officer Danielle Dyer-Tyler Public Works Director Jim French Community Development Director Samantha Brisolara City Clerk Catherine Ponson

Call to Order/Roll Mayor Brown called the meeting to order at 6:00 p.m. and Vice Mayor Chin led the Pledge of Allegiance.

Mayor Brown announced Councilor Key's excused absence as she has recently had a baby boy.

Mayor Brown welcomed new CFO Danielle Dyer-Tyler on her first day with the City.

AWARDS / PRESENTATIONS/ RECOGNITION OF GUESTS

Recognition of
Former Vice
Mayor JonesRecognition of former Vice Mayor Fred Jones. Mayor Brown presented former Vice Mayor
Fred Jones with a plaque recognizing his service to the City as Councilor and Vice Mayor
from May 2017 to December 2021.Water Conservation
MonthWater Conservation Month Proclamation-April 2022. Mayor Brown read and presented St.
Johns River Water Management District representative Ryan Spohn with a proclamation
designating April as Water Conservation Month in Neptune Beach.Officer of the Year2021 Neptune Beach Police Department Employee of the Year - Officer Joseph Dzamko.
Police Chief Richard Pike and Commanders Michael Key and Gary Snyder presented Officer
Joseph Dzamko with the 2021 Officer of the Year award.

APPROVAL OF MINUTES

Minutes Made by Messinger, seconded by Chin.

MOTION: TO APPROVE THE FOLLOWING, AS AMENDED: March 7, 2022, Regular City Council Meeting March 21, 2022, Special City Council Meeting March 21, 2022, Workshop City Council Meeting

Roll Call Vote: Ayes: 4-Livingston, Messinger, Chin, and Brown Noes: 0

MOTION CARRIED

PUBLIC COMMENTS

Public Comments Sharon Jachim, 1716 Strand, Neptune Beach, spoke regarding the budget and the Code rewrite.

COMMUNICATIONS / CORRESPONDENCE / REPORTS

City Manager City Manager Stefen Wynn reported that the sidewalk in Jarboe Park should be completed to 5th Street. He reviewed the Jarboe Park expenses. He also presented the February tracking amounts for the Public Works Department. He advised that the Florida Boulevard culvert project is still on schedule for May 1 substantial completion and June 1 final completion. The LDC is moving along and many items were addressed at the March 29 Roundtable meeting.

Councilor Messinger stated that a lot of the projects discussed are also being partly paid for with grants, state revenues and other revenue streams. He is aware that things fluctuate. He requested that we see these reports so we understand where some of those streams are coming from and highlighting that information.

All monthly City Manager reports can be found, in their entirety, at: https://www.ci.neptune-beach.fl.us/city-manager/pages/city-manager-reports.

Police ChiefPolice Chief Richard Pike reported that the Cookies with a Cop on April 2 was a success and
he also presented the March monthly report.

VARIANCES / SPECIAL EXCEPTIONS / DEVELOPMENT ORDERS / NONE

ORDINANCES / NONE

OLD BUSINESS / NONE

NEW BUSINESS / NONE

PUBLIC COMMENT / NONE

COUNCIL COMMENTS

Councilor Chin commented that he had noticed at night that some of stop signs on First Street were not reflective to headlights and appeared to have been blackened.

Councilor Messinger advised that when the signs have had graffitied, the cleaner that is used takes everything off, and the reflective effect is less and less.

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Councilor Chin suggested driving down and take a survey of which ones were in the worst condition.

Adjournment There being no further business, the meeting adjourned at 6:31 p.m.

Elaine Brown, Mayor

ATTEST:

Catherine Ponson, CMC City Clerk

Approved: _____



MINUTES WORKSHOP CITY COUNCIL MEETING IMMEDIATELY FOLLOWING SPECIAL MEETING MONDAY, APRIL 18, 2022, 6:00 P.M. NEPTUNE BEACH CITY HALL 116 FIRST STREET NEPTUNE BEACH, FLORIDA 32266

Pursuant to proper notice, a Workshop City Council Meeting of the City Council of the City of Neptune Beach was held on Monday, April 18, 2022, at 6:00 p.m., in Council Chambers, City Hall, 116 First Street, Neptune Beach, Florida, 32266

Attendance	IN ATTENDANCE: Mayor Elaine Brown Vice Mayor Kerry Chin Councilor Lauren Key <i>(absent)</i> Councilor Nia Livingston Councilor Josh Messinger	STAFF: City Manager Stefen Wynn City Attorney Zachary Roth Police Chief Richard Pike Public Works Director Jim French Community Development Director Samantha Brisolara Senior Center Director Leslie Lyne Grant and Resiliency Coordinator Colin Moore Mobility Management Director Megan Steward City Clerk Catherine Ponson
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Call to Mayor Brown called the workshop meeting to order at 6:00 p.m. and led the Pledge of Allegiance

AWARDS / PRESENTATIONS / GUESTS / NONE

DEPARTMENTAL SCORE CARD

Dept. Score City Manager Stefen Wynn presented the Departmental Score Card. He reported that the Lance McCauslin Memorial Bikeway had signs installed on First Street. The pickleball group raised over \$5,000 for windscreens. He reviewed the monthly building, code enforcement and fire marshal reports.

The Departmental Score Cards and reports are posted on the City website at: <u>https://www.ci.neptune-beach.fl.us/city-manager/pages/city-manager-</u>reportsdepartmental-score-cards

Florida Blvd. Artie Allen, A.W.A. Contracting Co. Inc., gave an update on the Florida Boulevard project. He reported he sends a new schedule to our Public Works Department every week. He would like to be done by the end of May. The next big event would be the force main transfer.

COMMITTEE REPORTS

- Charter Review Vice Mayor Kerry Chin reported he would be scheduling a meeting in the next two to three weeks.
- Land Use Councilor Messinger reported the Land Use and Parks Committee has a meeting tentatively scheduled for Tuesday, May 10.

PUBLIC COMMENTS

Public Comment Sharon Jachim, 1716 Strand Street, Neptune Beach, spoke regarding the Code changes, including PUDs and increased density.

Scott Gann, 1961 Mipaula Court, Atlantic Beach, stated he has a degree in Civil Engineering with a focus on Urban Planning. He presented suggestions for improvement of portions of State Road A1A through the City.

George Schoonover, 214 Oceanfront, Neptune Beach, spoke regarding the increased traffic. He also commented that the beach looked immaculate on a Monday morning.

Penny Kennedy, 2010 Acacia Road, Neptune Beach, spoke regarding the cost of the Dover, Kohl plan and the overspending of elected officials.

PROPOSED ORDINANCES / NONE

CONTRACTS / AGREEMENTS / NONE

ISSUE DEVELOPMENT

Traffic CalmingApplication for Traffic Calming – McCollum Circle(Cedar Street to Valley Forge Rd E.)Mr. Wynn explained a Traffic Calming process was put into place in 2019. There is a
checklist of requirements, which include a petition with enough signatures of the
affected area to submit the application, a traffic study performed by the Police
Department, and consideration by the Public Works Department. Historically, the City
has put speed humps in which create a dam that stormwater cannot get through.

The average speed was 21.3 mph based on the traffic study that was done on McCollum Circle. Chief Pike advised that if it is not posted, the speed limit is 25 mph per statute.

Public Works Director Jim French pointed out this is in a Homeowners Association and it would need their approval. He recommended this get looked at holistically from an engineering standpoint for true traffic calming and better alternatives.

Discussion included traffic increasing due to the Florida Boulevard detour, making sure this does not get lost while focusing on bigger projects, and measuring the traffic speeds for a longer period of time.

Mayor Brown summarized that staff would need to contact the HOA to get their feedback and bring back to Council.

Senior Center Renderings Neptune Beach Senior Activity Center Final Rendering Discussion. Mr. Wynn explained the design engineer, Marquis Latimer + Halback, (MLH) for the exterior of the Senior Center building took resident feedback and created renderings. We want to move forward with an RFP for the May 2 Council agenda. We have a donation of \$100,000 from the Eckstein Foundation. The renderings show an overview of some additional parking, landscaping, and elevation.

Councilor Messinger stated he wants to make sure we are not removing greenery to add parking spaces. He also mentioned that it is important to use the right materials, such as posts. He also requested something be added, such as faux shutters, where there are blank walls on the outside to improve the aesthetics of the building.

Vice Mayor Chin commented that at the onsite meeting there was discussion that the stair or ramp on the east side would have some kind of roof detail that would demarcate where that happens. He didn't see it on the renderings. He added that it helps break up the unrelieved surface and marks an entry.

Mr. Wynn stated that we can do alternate bids to see pricing on adding shutters or a roof detail. The pricing we have received is substantial because they are using quality materials.

Councilor Livingston commented that due to the price of construction materials some of the extra items could be added later. She stated that the flowers should be low maintenance.

Councilor Messinger pointed out that building materials are going in the right direction and he does not want to shortchange the aesthetics of all the homes around it.

Mayor Brown stated she liked everything about it but she has concerns about the parking and people parking on the grass.

Mr. Wynn stated he would bring the RFP to Council on May 2 that shows estimated cost as it is now and with the items discussed at this meeting.

Res. No. 2022-05, Parking Rates and Availability to Neptune Beach Residents.

Councilor Messinger explained that he noticed the parking spaces set aside for residents are not being utilized. This present a plan to provide three free hours to Neptune Beach residents at no cost, effective July 1, 2022. It would benefit our residents and would not affect our coastal renourishment requirement.

Mobility Management Director Megan Steward reported that the process of registering would be exactly like we have now. We are asking residents to check in which would help data analytics for tracking how many cars and empty spaces. She added there are 1,270 registered now.

Vice Mayor Chin asked if a resident did not use a kiosk or app to initiate parking. Ms. Steward informed him that it would show up as citable.

The City will take all of the necessary steps to educate and inform every one of the new parking information.

Councilor Livingston asked if someone stays over the three hours, do you have to go back into the app or is it automatically start charging.

Ms. Steward stated it does not automatically start charging but you can set up reminders.

Mayor Brown stated that the resolution would be moved forward to the May 2 agenda.

Dancin' in the <u>Dancin' in the Street Event – May 21, 2022.</u> Mr. Wynn stated that the City had received a letter asking for the City to share in the cost for the Dancin' in the Street event scheduled for May 21, 2022.

Council agreed they are glad the event is back on schedule and this will be forwarded to the May 2, 2022, agenda.

LDC Discussion <u>Council Discussion and Review of Draft Land Development Code Changes.</u> Mr. Wynn stated that the CDB had reviewed these sections and staff also had recommendations.

Chapter 8, Article <u>Chapter 8, Building and Building Regulations, Article VII Coastal Construction Code.</u> VII,Coastal Construction Mr. Wynn advised that staff added the beachfront lighting must be wildlife lighting

Construction Mr. Wynn advised that staff added the beachfront lighting must be wildlife lighting Code certified by the Florida Fish and Wildlife Conservation or approved by FDEP.

Article V - <u>Article V - Accessory Structure and Uses.</u> Accessory

Structure and
UsesMr. Wynn advised that staff recommendation was to remove any accessory dwelling
unit for consideration in this version of the LDC. The CDB voted 5-1 to remove this.

Councilor Livingston questioned the CDB approving the proposed fences in Section 27-330(1) City Attorney Zachary Roth advised the word "and" should be "or" so if a proposed fence is over six feet, it would then go to the CDB.

Vice Mayor Chin suggested in Section 27-330 (4) a. the visibility triangle language should be generalized. Mr. Roth suggested this could be taken care of in definitions.

Councilor Messinger stated that vacation rentals are a huge detriment to our community. He just does not want to completely wipe the slate clean without looking at it further. Ultimately, if it is uncontrollable, he is okay with it.

Article VI - <u>Article VI – Concurrency</u>

Concurrency

Wellfields

Vice Mayor Chin questioned the level of service numbers in Section 27-351. He also questioned the compliance in number of courts based on populations.

Article VII-Article VII - Protection of Potable Water WellfieldsProtection ofNo comments were made.Potable WaterNo comments were made.

 Article XIII Article XIII - Parking and Loading

 Parking and
 Councilor Messinger requested items come to Council and the CDB for approval. He suggested that even if there is a historic structure, they should still pay into the parking fund. He also regarding the credit for on-street parking, if the spaces need to be improved, that cost goes to the developer.

 Code Compliance Supervisor Piper Turner stated that staff is recommending having that section removed.

Vice Mayor Chin suggested if the joint use parking agreement ends, the original required parking goes back into effect.

Advertising

Mr. Roth confirmed Councilor Messinger's inquiry that the joint parking agreement could not be used as a mechanism to circumnavigate around the financial obligations.

Vice Mayor Chin questioned the bicycle parking requirements listed in the zoning districts. He asked what the intent was in not listing all of the zoning districts.

Vice Mayor Chin also questioned the conflicting language in Section 27-248(7)b i. regarding the mobility device parking. This would need further clarification.

Vice Mayor Chin pointed out the parking locations in Section 27-548(11) regarding the location of parking areas. Mr. Roth stated that is the intent to move parking locations to the side and rear of the property

Article XV - <u>Article XV - Advertising</u>

Mr. Wynn stated that language for proposed art projects was added. The CDB would like a process for public art projects. Mr. Roth advised that we need to be very careful when we start getting into regulating speech.

Article XVIII - <u>Article XVIII - Nonconforming Lots, Structures, Uses, and Signs</u> Nonconforming Lots, Structures, Uses, and Signs Ms. Turner stated that the CDB discussed creating retrofits for some of the older structures. How far do you let someone go on a nonconforming structure.

Mr. Roth explained that the added language expressly states you can't increase the nonconformity.

PUBLIC COMMENTS

- Public Comment Tony Cinotti, 714 McCollum Circle, Neptune Beach, stated the traffic speed study should be done for longer period of time. He suggested maybe putting stop signs in the area to help.
- Adjournment There being no further business, the Workshop meeting adjourned at 8:06 p.m.

Elaine Brown, Mayor

ATTEST:

Catherine Ponson, CMC City Clerk

Approved: _____

Agenda Item #7A 120 Lemon Street Special Exception

CITY OF NEPTUNE BEACH – COMMUNITY DEVELOPMENT DEPARTMENT



MEETING DATE:May 2, 2022BOARD/COMMITTEE:City CouncilAPPLICATION NUMBER:SE22-01

TO: Community Development Board

FROM: Sam Brisolara, Community Development Director

DATE: April 27, 2022

SUBJECT: Special Exception Request_Smart Balance Massage_120 Lemon St, Neptune Beach, FL

I. <u>BACKGROUND:</u> An application for a special exception was submitted on March 16, 2022, to operate a Massage Therapy business at 120 Lemon St., Neptune Beach, FL 32266

The applicant was operating out of 120 Lemon St, without obtaining a business tax receipt or special exception. She was unaware of the requirements and had been told by her landlord that the building had a blanket business tax receipt and that she would not need one.

Code Enforcement only became aware of the massage therapy business when Ms. Stephens placed a sign advertising her business. Once Officer Dehm made contact with Ms. Stephens, she was more than willing to comply and has provided staff with all documentation pertaining to her business operations.

Ms. Stephens went before the Community Development Board on April 13, 2022 and was granted approval from the board unanimously.

- **II.** <u>**DISCUSSION:**</u> The applicant is requesting a special exception, as listed in Section 27-226 of the Land Development Code, to operate a Day Spa in the Central Business District (CBD) Zoning District:
 - Sec. 27-226(k)(3) d.

• Uses by special exception: "Day spa;"

III. <u>FINDINGS:</u>

1. The proposed use is consistent with the comprehensive plan.

- a. <u>Applicant Response:</u> "The business is located with two other businesses in one building creating a mix of uses."
- **b.** <u>Staff Response:</u> Staff finds that the business is consistent with comprehensive plan policy A.1.4.2 (C) (5), Town Center which states that the area shall contain a mix of commercial uses and compatible residential uses that encourage an urban-intensive, pedestrian oriented neighborhood ambiance.
- 2. The proposed use would be compatible with the general character of the area, considering the population density; the design; density; scale; location, and orientation of existing and permissible structures in the area; property values; and the location of existing similar uses.
 - **a.** <u>Applicant Response:</u> "The special exception would be compatible with the lower intensity businesses in the same office complex. The operating hours will be during daylight hours and part-time.
 - **b.** <u>Staff Response:</u> The Central Business District is the most intense zoning district in our city (meaning allows the most uses). The use, if approved, would be operating part-time and before dusk, which is outside of the busiest time in the CBD (typically after dusk). The nature of the business is low impact which is compatible with the office uses in which it shares a building.

While the use is low impact, there are no similar uses in the area.

3. The proposed use would not have an environmental impact inconsistent with the health, safety, and welfare of the community.

- a. <u>Applicant Response:</u> "Due to the low impact nature of the business, there will be no environmental impacts."
- **b.** <u>Staff Response:</u> Staff finds there are no substantial environmental impacts beyond typical solid waste generated by the building. There are no hazardous materials used for this type of use.
- 4. The proposed use would not generate or otherwise cause conditions that would have a detrimental effect on vehicular traffic, pedestrian movement, or parking inconsistent with the health, safety and welfare of the community.

- **a.** <u>Applicant Response:</u> "I will only have one client at a time and all clients must have an appointment. No walk-ins will be allowed as to be courteous to other businesses in the same space."
- **b.** <u>Staff Response:</u> The use as proposed is on an appointment basis only. As such, the typical turn around time for a massage is a 1-hour time slot. This type of slow turn around does not adversely impact traffic, pedestrians, or parking.

5. The proposed use would not have a detrimental effect on the future development of the area as allowed in the comprehensive plan.

- a. <u>Applicant Response:</u> "The proposed use is not detrimental to future development as it is for a personal service that is low impact."
- **b.** <u>Staff Response:</u> The proposed use is consistent with other uses in the Central Business District. Due to the low impact of the business, any future development of the area, would not create any non-conformities or nuisances.

6. The proposed use would not result in the creation of objectionable or excessive noise, light, vibration, fumes, odors, dust or physical activities inconsistent with existing or permissible uses in the area.

- a. Applicant Response:
- **b.** <u>Staff Response:</u> Staff finds that this question was not on the Special Exception Application and the applicant was not afforded the opportunity to provide a response. However, due to the interior and low impact nature of the business, there would be no inconsistencies with existing or permissible uses in the area and the business would not create any nuisances as proposed.

7. The proposed use would not overburden existing public services and facilities.

- **a.** <u>Applicant Response:</u> "No overuse of public services or facilities is required to operate. A small amount of water is used to operate the towel and rock steamer."
- **b.** <u>Staff Response:</u> Staff finds that the proposed use would not require a high level of service for the water and sewer facilities and the solid waste created by this use would be minimal as the towels and rocks are taken with the business owner for proper sanitizing.

8. The proposed use meets all other requirements as provided for elsewhere in this Code.

a. <u>Applicant Response:</u> "Parking only requires one space which is available by pay to park in front of the building. I have a designated parking spot for my own vehicle. I also have applied for the business tax receipt and am awaiting approval for it to be processed."

b. <u>Staff Response:</u> Staff finds that the use requires only one parking space per LDC, Table 27-540-1, which requires one (1) space per 300 square feet of gross floor area. In the CBD, parking requirements are further reduced by 50% (Sec. 27-540 (b)). Due to the low turnover, and the applicant having a designated parking space, the parking requirement would be met for the use.

Additionally, the two office uses also require only one (1) space per 400 square feet of gross floor area. The structure at 120 Lemon Street has a gross floor area of 1,668 square feet. If this is divided equally between the three businesses, each business is required to provide two (2) spaces. However, since they are in the CBD and are allotted a 50% reduction, each business is only required to supply once (1) parking space. There are four (4) pay to park spaces available for use in front of the building.

All other provisions of this code are met by the proposed use provided by the applicant.

IV. CONCLUSION: The Community Development Board supports approval of the Special Exception based on its low impact and compatibility with the surrounding uses. Further, the use is consistent with the Town Center designation in the Comprehensive Plan.

V. RECOMMENDED MOTION:

a. I move to approve /approve with conditions Special Exception SE22-01.

OR

b. I move to deny Special Exception SE22-01 based on lack of similar uses in the area as stated by Finding #2.

APPLICATION FOR SPECIAL EXCEPTION

CITY OF NEPTUNE BEACH COMMUNITY DEVELOPMENT DEPARTMENT **116 FIRST STREET** NEPTUNE BEACH, FLORIDA 32266-6140 PH: 270-2400 Ext 34 or CDD@NBFL.US



Application Fee: \$300 Residential / \$500 Commercial	Date Filed:
Name & Address of Property Owner:	Telephone: (904) 479-8292 E-Mail: smartbalance massage @ gwail
Picriet /1C	E-Mail: Smartbalance Massage @ gwail, com
	Real Estate #:
Property Address (if different from mailing):	Lot Block:
	Subdivision:
	Zoning District:

Name and Address of Agent:	Telephone:
	E-Mail:
Describe Special Exception Request:	

The Unified Land Development Code (ULDC) requires that the Community Development Board may not recommend for approval unless it makes a positive finding, based on substantial competent evidence, outlined in Section 27160
 Based on the required findings needed to issue a special exception in Section 27-160 explain the following (attach additional sheets as necessary):

A. How the proposed is consistent with the comprehensive plan: The pusiness is located with 2 other businesses in one, building creating a mix of uses.

1

B. Indicate how the proposed special expectation (use) would be compatible with the general character of the area, considering the population density; the design, density, scale, location, and orientation of existing and permissible structures in the area; property values; and the location of existing similar uses. The Special exception would be compatible with the lower intensity businesses in the same office compex. the operating hours will be during daylight hours and part time. C. Indicate how the proposed special exception (use) would not have an environmental impact inconsistent with the health, safety and welfare of the community. Due to the low impact nature of the business, there will be no environmental impacts. D. Explain how the proposed special exception (use) would not generate or otherwise cause conditions that would have a detrimental effect on vehicular traffic, pedestrian movement, or parking inconsistent with the I will only have one client at a time and all clients must have an appt. NO walk-ins will be health, safety and welfare of the community. allowed as to be courteous to other businesses in the space. E. Explain how the proposed use would not have a detrimental effect on the future development of the area as allowed in the comprehensive plan. The proposed use is not detrimental to future development-as it is for a personal service that is low impact. F. Indicate how the proposed use would not overburden existing public services and facilities. NO over use of public services or facilities is required to operate. A small amount of water is used to operate the tower and rock steamer

G. Explain how the proposed use meets all other requirements as provided for elsewhere Chapter 27. Parking only requires 1 space which is available by pay to K in front of the boilding. I have a designated parking spot my own vehicle. I also have applied for the business tax receipt.

THE APPLICANT AND SURROUNDING PROPERTIES WILL BE NOTIFIED OF THE PUBLIC HEARING BY MAIL AND POSTING OF THE PROPERTY. THE APPLICANT OR HIS/HER AUTHORIZED AGENT MUST BE PRESENT AT THE MEETINGS.

Per 27-163, If a special exception is granted the use or construction, must be commenced within twelve (12) months following the date the special exception is rendered or the special exception shall expire and be of no further force, validity, or effect.

I HEREBY CERTIFY THAT I HAVE READ AND UNDERSTAND THE INFORMATION CONTAINED IN THIS APPLICATION. THAT I AM THE PROPERTY OWNER WITH AUTHORITY TO MAKE THIS APPLICATION, AND THAT ALL THE INFORMATION CONTAINED IN THIS APPLICATION, INCLUDING ANY ATTACHMENTS ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I HEREBY APPLY FOR A SPECIAL EXCEPTION AS REQUESTED.

NAME (S) OF PROPERTY OWNER (S)

Signature

NAME OF AUTHORIZED AGENT

Signature



1100 Virginia Drive, Suite 250, Fort Washington, PA 19034 customer.service@hpsocover.com (215) 660-0241

General Liability

for

Smart Balance Massage

Thanks for choosing HPSO!

Hello Juanita Stephens,

I'm happy to present to you your insurance policy. The terms and coverage details are specified in the following pages, so please review them and maintain a copy for your records. If you have any questions about the language, your coverage or anything else, please let me know.

About HPSO:

Healthcare Providers Service Organization (HPSO) and Nurses Service Organization (NSO) has over 30 years of experience providing insurance solutions to over 80 healthcare professions. HPSO and NSO, provides over 1 million healthcare providers throughout the United States with professional liability insurance and risk management information.

Type of policy	Start Date	Expiry Date	Type of Payment	Invoiced Amount
General Liability	10/27/2021	10/27/2022	Full Payment	
			Premium	\$350.00
			Taxes	\$0.00
		Purch	asing Group Fee	\$0.00
		Initial Paymer	nt Proccessing fees	\$0.00
			Total Amount	\$350.00

customer.service@hpsocover.com | (215) 660-0241 1100 Virginia Drive, Suite 250, Fort Washington, PA 19034

Aon Affinity is the brand name for the brokerage and program administration operations of Affinity Insurance Services, Inc., a licensed producer in all states (TX 13695); (AR 100106022); in CA & MN, AIS Affinity Insurance Agency, Inc. (CA 0795465); in OK, AIS Affinity Insurance Services, Inc.; in CA, Aon Affinity Insurance Services, Inc. (CA 0G94493), Aon Direct Insurance Administrators and Berkely Insurance Agency and in NY, AIS Affinity Insurance Agency.



A Member of Starr Companies

Dallas, Texas Administrative Office: 399 Park Avenue, New York, NY 10022

(866) 519-2522

Named Insured: Smart Balance Massage

Policy Number: 1000606821

Effective Date: 10-27-2021

This Policy is a legal contract between the Named Insured and Starr Indemnity & Liability Company, a Stock Company, (herein referenced as "the Company"). The Company agrees to provide insurance to the Named Insured, in exchange for the payment of the required premium. Coverage is subject to the terms and conditions described in this Policy.

This Policy and the coverage provided by it become effective at 12:01 A.M. at the address of the Named Insured on the Policy Effective Date shown above. It continues in effect in accordance with the provisions set forth in this Policy.

This Policy is governed by the laws of the state where it was delivered.

In witness whereof, we, as officers of the stock Company designated on the Declarations Page, have caused this Policy to be executed and attested. If required by state law, this policy shall not be valid unless countersigned by our authorized representative.

Signed for STARR INDEMNITY & LIABILITY COMPANY:

Stere Bla

Steve Blakey President and Chief Executive Officer

Nehemiah E. Dinsburg

Nehemiah E. Ginsburg General Counsel and Secretary

Page 1 of 1



STARR COMMON POLICY DECLARATIONS

Dallas, TX

Administrative Office: 399 Park Avenue, New York, NY 10022

Policy Number: 1000	0606821	Producer Name: Affinity Insurance Service, Inc.
Named Insured:	Smart Balance Massag	je
Mailing Address:	120 Lemon Street Neptune Beach, FL 32	266
Policy Period:	FROM 10-27-2021	TO 10-27-2022
	At 12:01 AM Stand	ard Time at your mailing address shown above.

IN RETURN FOR THE PAYMENT OF THE PREMIUM, AND SUBJECT TO ALL THE TERMS OF THIS POLICY, WE AGREE WITH YOU TO PROVIDE THE INSURANCE AS STATED IN THIS POLICY.

	Descr	ription Of Business		
Form Of Business:				
🗙 Individual	Partnership	Joint Venture		Limited Liability Company
Organization, inc	luding a corporation (but not ir	ncluding a partnership, joint ver	nture or li	mited liability company)
Business Description	: Spa Services			

This po	Coverage Parts This policy consists of the following coverage part(s) for which a premium is indicated. This premium may be subject to adjustment.		
	<u>Coverage Part(s)</u> Commercial General Liabil		<u>Premium</u> \$ 350
Subject to any applica	able premium audit, the Total \$ 350	Premium Policy Premium fe	or all coverage parts included in this policy Is:
Countersigned:	10-26-2021 (Date)	Ву:	(Authorized Representative)
SIIL DS 01 FL (0118)	Includes copyrighted material o	f Insurance Service	es Office, Inc., with its permission. Page 1 of 1



STARR COMMERCIAL GENERAL LIABILITY DECLARATIONS

Policy Number: 1000606821

Effective Date: 10-27-2021

Named Insured: Smart Balance Massage

Coverage		Limit Of Insurance
Each Occurrence Limit	\$ 1,000,000	
Medical Expense Limit	\$ 5,000	Any One Person
Damage To Premises Rented To You Limit	\$ 100,000	Any One Premises
Personal And Advertising Injury Limit	\$ 1,000,000	Any One Person or Organization
General Aggregate Limit	\$ 2,000,000	
Products-Completed Operations Aggregate Limit	\$ 2,000,000	

	All Pr	emises You Own, I	Rent or Occ	upy		
Location #			Address	5		
1			Lemon Stree une Beach,	-		
		Classification and	Premium			
	Class		F	Rate	Advance	e Premium
Classification	Code	Premium Base	Prem/ Ops	Prod/ Comp Ops	Prem/ Ops	Prod/ Comp Ops
Spas or Personal Enhancement Facilities	18200	Gross Sales	4.2120	0	\$ 199	Incl

Forms and Endorsements Applicable To Commercial General Liability

Refer to SIIL DS 02 Schedule of Forms and Endorsements

Premium

Total Commercial General Liability Coverage Part Premium: \$350

(a policywriting minimum premium of \$ 350. applies)

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SICG DS 01 (0117)

Page 1 of 1



Policy Number: 1000606821

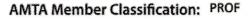
SCHEDULE OF FORMS AND ENDORSEMENTS

Form Number And Edition Date	Form Title
SILC IL 0001 (0118)	Starr Indemnity & Liability Company Cover Page
SIIL DS 01 FL (0118)	Starr Common Policy Declarations
SICG DS 01 (0117)	Starr Commercial General Liability Declarations
SIIL DS 02 (0117)	Schedule Of Forms And Endorsements
SICG-TC-1(0413)	Table Of Contents
CG 00 01 04 13	Commercial General Liability Coverage Form
CG 02 20 03 12	Florida Changes - Cancellation And Nonrenewal
CG 20 01 12 19	Primary And Noncontributory - Other Insurance Condition
CG 21 06 05 14	Exclusion - Access Or Disclosure Of Confidential Or Personal Information And
CG 21 32 05 09	Data-Related Liability - With Limited Bodily Injury Exception Communicable Disease Exclusion
CG 21 32 03 09 CG 21 46 07 98	Abuse Or Molestation Exclusion
CG 21 47 12 07	Employment-Related Practices Exclusion
CG 21 49 09 99	Total Pollution Exclusion Endorsement
CG 21 67 12 04	Fungi Or Bacteria Exclusion
CG 21 71 01 15	Exclusion Of Other Acts Of Terrorism Committed Outside The United States;
	Cap On Losses From Certified Acts Of Terrorism
CG 21 96 03 05	Silica Or Silica-Related Dust Exclusion
CG 22 90 04 13	Professional Liability Exclusion - Spas Or Personal Enhancement Facilities
CG 24 26 04 13	Amendment Of Insured Contract Definition
CG 40 14 12 19	Cannabis Exclusion
IL 00 17 11 98	Common Policy Conditions
IL 00 21 09 08	Nuclear Energy Liability Exclusion Endorsement (Broad Form)
IL 09 85 (0115)	Disclosure Pursuant To Terrorism Risk Insurance Act
SICG-0001 (0517)	Absolute Asbestos Liability Exclusionary Endorsement
SICG-0002 (0419)	Absolute Lead Liability Exclusionary Endorsement
SICG-0092 (0419)	Additional Insured - Automatic Status
SICG-0096 (0419)	Professional Services Exclusionary Endorsement
SICG-0097 (0419)	Waiver Of Subrogation Amendatory Endorsement



Certificate of Insurance

AMTA Member ID#: 1778650 Juanita Stephens



Enrolled Member Effective Date: 8/1/2021 to 7/31/2022

Coverage for enrolled member's business is limited to claims arising from enrolled member's professional services. Business Name: Smart Balance Massage

Administered By:

Healthcare Providers Service Organization Affinity Insurance Services, Inc. 1100 Virginia Drive, Suite 250 Fort Washington, PA 19034 Insurance Company: Columbia Casualty Company A CNA Company

TYPE OF INSURANCE	MASTER POLICY NUMBER	LIMITS (per enrolled member)
Professional Liability Occurrence Coverage	0289955556	\$2,000,000 each claim/\$6,000,000 aggregate Subject to the Master Policy Aggregate

Coverage is afforded to AMTA Members for a period of 12 months concurrent with the Enrolled Member Effective Date or until membership is terminated or expires. Student Enrolled membership expires on the last day of the month in which the Student Enrolled Member graduates. No coverage is afforded to Student Enrolled Members for providing massage therapy services outside of school sanctioned and directed activities. If the AMTA Master Policy is non-renewed or cancelled, the AMTA Member's coverage under this policy will terminate upon the expiration of the Enrolled Member Effective Date and will not be renewed. The Master Policy Aggregate may be reduced by claims paid on behalf of other insureds.

 General Liability Products Liability Host Liquor Liability Personal Injury Liability 	 Good Samaritan Liability Malplacement Liability Fire & Water Legal Liability (subject to \$100,000 sub limit,
COVERAGE EXTENSIONS	COVERAGE EXTENSION LIMITS
 License Protection Defense Expense Benefit Deposition Representation Assault (excluding Texas) Medical Payments First Aid Information Privacy Coverage (HIPAA) 	\$10,000 per proceeding / \$25,000 aggregate \$10,000 aggregate \$2,500 per deposition / \$5,000 aggregate \$10,000 per incident / \$25,000 aggregate \$2,000 per person / \$100,000 aggregate \$2,500 aggregate \$25,000 aggregate

This material is intended to provide a general overview of the products and services offered. Coverage for enrolled member's business is limited to claims arising from enrolled member's professional services. Only the policy can provide the actual terms, coverage amounts, conditions and exclusions. Please contact HPSO at 1-888-253-1474 directly for a free copy of the complete policy.



Rev. 2/2021

Samatha Brisolara

From:	Juanita Stephens <smartbalancemassage@gmail.com></smartbalancemassage@gmail.com>
Sent:	Monday, March 21, 2022 8:24 AM
То:	Samatha Brisolara
Subject:	Re: Special Exception
Attachments:	20220317_115522_HDR.jpg; 20220317_115539_HDR.jpg; 20220317_115511_HDR.jpg;
	20220317_115531_HDR.jpg

There are two other businesses in the office I share. The signs are above the door.

On Mon, Mar 21, 2022, 8:21 AM Juanita Stephens <<u>smartbalancemassage@gmail.com</u>> wrote: CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe. Kelly Dyer 120 Lemon Street Neptune Beach FL 32266

31st March 2022

RE: Juanita Stephens Smart Balance Massage

To whom it may concern:

This letter is on behalf of Juanita Stephens related to her business, Smart Balance Massage. As the founder of Lemon Street Social, my goal has been to support local entrepreneurs and help them build new businesses and realize their goals to be independent.

Juanita is a professional and driven entrepreneur, who diligently worked to become a licensed masseuse with dreams of starting her own business. When she opened up Smart Balance Massage and chose our location for her office, she brought an immediate energy and improvement to the space that was felt by everyone.

She is an asset to the location and I look forward to seeing her thrive and grow as an entrepreneur.

Sincerely,

Killon

Samatha Brisolara

From:Juanita Stephens <smartbalancemassage@gmail.com>Sent:Monday, March 21, 2022 8:25 AMTo:Samatha BrisolaraSubject:Fwd: Recommendation for Juanita StephensAttachments:Outlook-0w1t2pum.png

------ Forwarded message ------From: **Michelle Tipton** <<u>michelle@themorgancompany.com</u>> Date: Thu, Mar 17, 2022, 1:44 PM Subject: Recommendation for Juanita Stephens To: <u>smartbalancemassage@gmail.com</u> <<u>smartbalancemassage@gmail.com</u>>, John Tipton <<u>johntipton5@gmail.com</u>>

Neptune Beach Committee Board,

We would like to give the highest of recommendation for Juanita Stephens as a business owner in the City of Neptune Beach. We have known Juanita for numerous years in a professional and personal capacity. She is an incredibly hard worker and very conscientious of those around her. We have used her as a massage therapist extensively. She does excellent work and runs a professional office. Her location is always very clean and well organized. We recommend her to many friends and family. Juanita is extremely determined in achieving her goals professionally. On a personal level, she is a very kind and thoughtful person. Juanita values interpersonal relationships. We strongly support her running her business here at the beach. She will provide top quality services to residents. Please let me know if you would like to speak directly (904)294-2435.

Thank you, Michelle & John Tipton Beaches Residences for 47 years

Michelle Tipton The Morgan Company Promotional Advertising 13500 Sutton Park Drive S, Suite 204 Jacksonville, 32224

904.294.2435 (cell) 904.242.0472 (office)

Samatha Brisolara

From: Sent: To: Subject: Attachments:

Juanita Stephens <smartbalancemassage@gmail.com> Monday, March 21, 2022 8:26 AM Samatha Brisolara Fwd: Smart Balance logo-small-linear.png

------ Forwarded message ------From: **Nicole Brose** <<u>nicole@nonprofix.com</u>> Date: Thu, Mar 17, 2022, 1:36 PM Subject: Smart Balance To: Juanita Stephens <<u>SmartBalanceMassage@gmail.com</u>>

Dear Juanita of Smart Balance,

I am writing this note as a letter of recommendation. I have been getting massage therapy work for nearly 30 years and I must say your services are not only some of the best I've had, the location is convenient and relaxing. From the music played, to the quaint cottage you're located in. You are also very sweet and professional.

I also can have lunch or dinner close by, or even shop at some of the locally owned business once finished (extra bonus).

I've been getting a massage once a week since you've opened and will continue to do so! Thank you again for being you...and for being one of the best therapist I've ever had!

Sincerely, Nicole

Nicole Brose Creator Of Opportunities 904.234.3223 <u>www.nonprofix.com</u> 1015 Atlantic Blvd. #511 Atlantic Beach, FL, 32233

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Special Exception

My name is Juanita Stephens. I'm a licensed Massage Therapist and owner of Smart Balance Massage. I'm renting a small room at 120 Lemon Street, Neptune Beach, Florida 32266. I share that building with a marketing/finance company. I am the only Massage Therapist in my office and plan on being the only one their.

I work part time due to another business I run in the Beaches area. I'm only at the office when an appointment is booked only. The max a week are up to 12 clients, 3 days out the week. They're spaced 30min-1hr between the next client. My on-call hours are from 8:30am-6pm on the 3 days I'm available. This will allow that the next client doesn't have to wait as the previous client session is over.

This is a nice fit to Neptune Beach with all of the health fit lifestyle, from the food, 187 yoga and other activities. I deal with a lot of athletes or people who just want to relax that are residents of the area. As a child I've always wanted to be a massage therapist because I wanted to heal. Now that I am, I have purpose. I do not wish to change Neptune Beach but add to its uniqueness.

Smart Balance Massage Juanita Stephens 904-479-8292















Kelly Dyer 120 Lemon Street Neptune Beach FL 32266

31st March 2022

RE: Juanita Stephens Smart Balance Massage

To whom it may concern:

This letter is on behalf of Juanita Stephens related to her business, Smart Balance Massage. As the founder of Lemon Street Social, my goal has been to support local entrepreneurs and help them build new businesses and realize their goals to be independent.

Juanita is a professional and driven entrepreneur, who diligently worked to become a licensed masseuse with dreams of starting her own business. When she opened up Smart Balance Massage and chose our location for her office, she brought an immediate energy and improvement to the space that was felt by everyone.

She is an asset to the location and I look forward to seeing her thrive and grow as an entrepreneur.

Sincerely,

Killon

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MINUTES COMMUNITY DEVELOPMENT BOARD April 13, 2022, AT 6:00 P.M. COUNCIL CHAMBERS 116 FIRST STREET NEPTUNE BEACH, FLORIDA 32266

-	Pursuant to proper notice a public hearing of the Community Development Board for the City of Neptune Beach was held both in person April 13, 2022, at 6:07 p.m. in the Council Chambers.
Attendance	Board members were in attendance: Bob Frosio, Chair Greg Schwatzenberger, Vice-Chair Jonathan Raitti, Member Rene Atayan, Member William Hilton, Member Charley Miller, Member
	The following staff members were present:
	Samantha Brisolara, Community Development Director Zachary Roth, City Attorney Piper Turner, Code Compliance Supervisor
Pledge	Pledge of Allegiance.
Call to Order/Roll Call	Chair Frosio called the meeting to order at 6:00 p.m.
Minutes	Made by Hilton, seconded by Schwartzenberger.
	MOTION: <u>TO APPROVE FEBRUARY 9, 2002 MINUTES AS</u> <u>AMENDED AND MARCH 9, 2022, MINUTES AS</u> <u>SUMITTED.</u>
	Roll Call Vote: Ayes: 7-Hilton, Raitti, Randolph, Atayan, Miller, Schwartzenberger, Forsio Noes: 0
	MOTION CARRIED

application

Lynn Larson Et Al &

Rummell R/S 1515 Kings Road

Michelle

Anthony

Swearing in	Mr. Roth, City Attorney, asked anyone appearing before the board tonight to raise their right hand to be sworn in.
Variance	V22-04 Application for variance as outlined in Chapter 27 Article III Division 8 of the

V22-04 Application for variance as outlined in Chapter 27 Article III Division 8 of the Unified Land Development Code of Neptune Beach for Michelle Lynn Larson Et AI and Anthony Jay Rummel R/S for the property known as 1515 Kings Road (RE# 178620-0000). The request is to vary Sections 27-328(a)(2) location of an accessory structure. The request for variance is for an after the fact detached accessory structure for the storage of a boat.

Samantha Brisolara, Community Development Director presented the staff report.

- I. BACKGROUND: An application for a variance was submitted on March 14, 2022, for a detached garage (boat shed). The applicant submitted for a variance on the March 9, 2022, Community Development Board meeting. The application was denied due to the lack of findings for approval. The applicant is resubmitting for a variance of only one provision of the code as he has worked to come into compliance for his previous variance requests.
- **II. DISCUSSION:** The applicant is requesting a relief from the following Land Development Code provision:

• Sec. 27-328 (a)(2) a. "On multiple frontage lots, through lots and corner lots, accessory structures may only be located in any required interior side yard and/or required rear yard but not less than three (3) feet from any of those lot lines."

III. FINDINGS:

- 1. The property has unique and peculiar circumstances, which create an exceptional and unique hardship. For the purpose of this determination, the unique hardship shall be unique to the parcel and not shared by other property owners in the same zoning district.
 - a. Applicant Response: "The carport is positioned to be used on the property while keeping the large oak tree in the front yard without having to take down the tree."
 - b. Staff Response: Staff finds that a tree in the front yard hinders the ability to maneuver the boat safely and successfully to the side and back yard. Additionally, the tree is a heritage tree and should be protected at all costs.
- 2. The proposed variance is the minimum necessary to allow the reasonable use of the parcel of land.
 - a. Applicant Response: "The carport was shifted slightly on the side yard so that access was obtainable to use structure as intended. Front post[s] of structure are less than 2' & 4' from the front of the residence."
 - b. Staff Response: Staff finds that the variance is the minimum necessary to allow the reasonable use of the land for a boat carport without further harming the natural state of the land.
- 3. The proposed variance would not adversely affect adjacent and nearby properties or the public in general.

- a. Applicant Response: "The proposed structure does not encroach on the side or front setbacks."
- b. Staff Response: Staff finds that the setbacks of the structure comply with the regulations of the R-1 zoning district.
- 4. The proposed variance will not substantially diminish property values in, nor alter the essential character of, the area surrounding the site.
- a. Applicant Response: "The structure is a nice wood post & beam and architecturally sound with the community. I believe it raises the value of the property and neighborhood."
- b. Staff Response: The location of the boat carport extends only 2 feet beyond the front facade of the house and does not diminish property values or alter the character of the area surrounding the site. The minor extension beyond the front of the house is not recognizable to the naked eve.
- 5. The effect of the proposed variance is in harmony with the general intent of the ULDC and the specific intent of the relevant subject area(s) of the ULDC.
- a. Applicant Response: "With the reduction in overall height and the addition of the pervious driveway I believe this structure is in harmony with the U.L.D.C for the intended purpose of the structure given the current tree location."
- b. Staff Response: Staff finds that the proposed use of the structure is subordinate to the principal use of the single-family home and is therefore in harmony with the general intent of the Accessory Structures section of the Land Development Code.
- 6. The need for the variance has not been created by the actions of the property owner or developer nor is the result of mere disregard for the provisions from which relief is sought.
- a. Applicant Response: "The structure is shifted to accept the tree location in the front yard directly next to the driveway."
- b. Staff Response: Staff finds that the location of the heritage tree impacts the ability of the property owner to successfully place the boat carport in a location that is behind the front façade of the house. The protection of the city's tree canopy is priority in relation to the location of the structure pursuant to the city's comprehensive plan policy A.1.6.12 "Protect the City's existing tree canopy..."
- Granting the variance will not confer upon the applicant any special privilege that is denied by the ULDC to other lands, buildings, or structures in the same zoning district.
- a. Applicant Response: "The variance for location of carport has a direct relation with the tree location of this property alone." b. Staff Response: Staff finds that granting the variance will not confer the applicant any special privilege that would be denied to other lands buildings or structures in the same zoning district.
- IV. CONCLUSION: Staff supports approval of the variance based on the findings stated above. The applicant may move forward with permitting but must comply with all other provisions in Article V, Accessory Structures and Uses as stated in the Land Development Code.
- V. RECOMMENDED MOTION: a. I move to approve OR (approve with conditions) Variance Application V22-04

Mr. Anthony Rummell, 1515 Kings Road, applicant and property owner, addressed the Board. Stated he had made some changes to the original plan. The roof will be lowered to 13 feet 6 inches and will meet the code and a driveway will be added on the Kings Road side of the property. The position of the structure was placed where it is because of a large tree that would have had to be removed in order to comply with the setbacks.

The floor was opened for public comments. There being no comments, the public hearing was closed.

Board Discussion:

Mrs. Atayan: Has worked with the city to make a great compromise. Mr. Hilton: Be careful of compromising. Has to meet the test of the finding of fact by saving the trees.

Mr. Miller: Ok with approving with conditions.

Mr. Ratti: The tree canopy should be protected. Two-sided lots limit the options.

Made by Miller, seconded by Hilton.

MOTION: MOVE TO APPROVED VARIANCE APPLICATION V22-04.

Roll Call Vote:

Ayes: Noes: 7 -Hilton, Miller, Raitti, Randolph, Atayan, Schwartzenberger, Forsio 0

MOTION CARRIED

Special Exception SE22-01 Juanita Stephens 120 Lemon St Smart Balance Massage An application for a special exception was submitted by Juanita Stephens on March 16, 2022, to operate a Massage Therapy business at 120 Lemon St., Neptune Beach, FL 32266. The property is in the Central Business District.

Samantha Brisolara, Community Development Director presented the staff report.

I. BACKGROUND: An application for a special exception was submitted on March 16, 2022, to operate a Massage Therapy business at 120 Lemon St., Neptune Beach, FL 32266

The applicant was operating out of 120 Lemon St, without obtaining a business tax receipt or special exception. She was unaware of the requirements and had been told by her landlord that the building had a blanket business tax receipt and that she would not need one.

Code Enforcement only became aware of the massage therapy business when Ms. Stephens placed a sign advertising her business. Once Officer Dehm made contact with Ms. Stephens, she was more than willing to comply and has provided staff with all documentation pertaining to her business operations.

II. DISCUSSION: The applicant is requesting a special exception, as listed in Section 27-226 of the Land Development Code, to operate a Day Spa in the Central Business District (CBD) Zoning District:

• Sec. 27-226(k)(3) d. Uses by special exception: "Day spa;"

III. FINDINGS:

- 1. The proposed use is consistent with the comprehensive plan.
 - a. Applicant Response: "The business is located with two other businesses in one building creating a mix of uses."
 - b. Staff Response: Staff finds that the business is consistent with comprehensive plan policy A.1.4.2 (C) (5), Town Center which states that the area shall contain a mix of commercial uses and compatible residential uses that encourage an urban-intensive, pedestrian oriented neighborhood ambiance.

2. The proposed use would be compatible with the general character of the area, considering the population density; the design; density; scale; location, and orientation of existing and permissible structures in the area; property values; and the location of existing similar uses.

- a. Applicant Response: "The special exception would be compatible with the lower intensity businesses in the same office complex. The operating hours will be during daylight hours and part-time.
- b. Staff Response: The Central Business District is the most intense zoning district in our city (meaning allows the most uses). The use, if approved, would be operating part-time and before dusk, which is outside of the busiest time in the CBD (typically, after dusk). The nature of the business is low impact which is compatible with the office uses in which it shares a building.

While the use is low impact, there are no similar uses in the area.

3. The proposed use would not have an environmental impact inconsistent with the health, safety, and welfare of the community.

- a. Applicant Response: "Due to the low impact nature of the business, there will be no environmental impacts."
- b. Staff Response: Staff finds there are no substantial environmental impacts beyond typical solid waste generated by the building. There are no hazardous materials used for this type of use.
- 4. The proposed use would not generate or otherwise cause conditions that would have a detrimental effect on vehicular traffic, pedestrian movement, or parking inconsistent with the health, safety and welfare of the community.
 - a. Applicant Response: "I will only have one client at a time and all clients must have an appointment. No walk-ins will be allowed as to be courteous to other businesses in the same space."
 - b. Staff Response: The use as proposed is on an appointment basis only. As such, the typical turnaround time for a massage is a 1-hour time slot. This type of slow turn around does not adversely impact traffic, pedestrians, or parking.
- 5. The proposed use would not have a detrimental effect on the future development of the area as allowed in the comprehensive plan.

a. Applicant Response: "The proposed use is not detrimental to future development as it is for a personal service that is low impact."

b. Staff Response: The proposed use is consistent with other uses in the Central Business District. Due to the low impact of the business, any future development of the area, would not create any non-conformities or nuisances.

6. The proposed use would not result in the creation of objectionable or excessive noise, light, vibration, fumes, odors, dust or physical activities inconsistent with existing or permissible uses in the area.

- a. Applicant Response: n/a
- b. Staff Response: Staff finds that this question was not on the Special Exception Application and the applicant was not afforded the opportunity to provide a response. However, due to the interior and low impact nature of the business, there would be no inconsistencies with existing or permissible uses in the area and the business would not create any nuisances as proposed.

7. The proposed use would not overburden existing public services and facilities.

- a. Applicant Response: "No overuse of public services or facilities is required to operate. A small amount of water is used to operate the towel and rock steamer."
- b. Staff Response: Staff finds that the proposed use would not require a high level of service for the water and sewer facilities and the solid waste created by this use would be minimal as the towels and rocks are taken with the business owner for proper sanitizing.

8. The proposed use meets all other requirements as provided for elsewhere in this Code.

- a. Applicant Response: "Parking only requires one space which is available by pay to park in front of the building. I have a designated parking spot for my own vehicle. I also have applied for the business tax receipt and am awaiting approval for it to be processed."
- b. Staff Response: Staff finds that the use requires only one parking space per LDC, Table 27-540-1, which requires one (1) space per 300 square feet of gross floor area. In the CBD, parking requirements are further reduced by 50% (Sec. 27-540 (b)). Due to the low turnover, and the applicant having a designated parking space, the parking requirement would be met for the use.

Additionally, the two office uses also require only one (1) space per 400 square feet of gross floor area. The structure at 120 Lemon Street has a gross floor area of 1,668 square feet. If this is divided equally between the three businesses, each business is required to provide two (2) spaces. However, since they are in the CBD and are allotted a 50% reduction, each business is only required to supply once (1) parking space. There are four (4) pay to park spaces available for use in front of the building.

All other provisions of this code are met by the proposed use provided by the applicant.

IV. CONCLUSION: Staff supports approval of the Special Exception based on its low impact and compatibility with the surrounding uses. Further, the use is consistent with the Town Center designation in the Comprehensive Plan.

V. RECOMMENDED MOTION:

a. I move to approve /approve with conditions Special Exception SE22-01. b. OR

c. I move to deny Special Exception SE22-01 based on lack of similar uses in the area as stated by Finding #2

Ms. Stephens, applicant, addressed the Board. Stated she stated that she was given the opportunity to rent space to operate a massage therapy business in the location. Her business is conducted in daylight hours only between 8:30 am and 6:00 pm by appointment only. She has another business location at the Beach so the impact will be low. Can only work on 4 to 5 clients a day. There is a parking space available in front of the building for clients to use.

The floor was opened for public comments.

Mary Phillips, Atlantic Beach, supports the applicant. Michelle Tipton works with applicant and supports and asked the board to approve the applicant.

Lori Canderi, friend, stated that the applicant cares about her clients and the community will be well served by her.

John Tipton, supports the approval.

There being no comments, the public hearing was closed

Board Discussion:

Mr. Miller: Meets the proposed code as well as the current one. Mr. Ratti: Would any future business owner need their own special exception? Yes, that is correct.

Made by Hilton, seconded by Miller.

MOTION: MOVE TO RECOMMEND APPROVAL OF SPECIAL EXCEPTION APPLICATION SE22-01.

Roll Call Vote:

Ayes: 7 -Hilton, Miller, Raitti, Randolph, Atayan, Schwartzenberger, Forsio Notes: 0

MOTION CARRIED

Application was informed that City Council makes the final decision, and that this application would be forwarded to the May 2nd meeting, and they need to attend.

ULDC revisions discussion Board discussion and review of Article V Accessory Structures and Use; Article VI Concurrency; Article VII Protection of Potable Water Wellsfields; Article XIII Parking & Loading; Chapter 8 Buildings and Building Regulations; Article VII Coastal Construction Code; Article XV Advertising; Article XVIII Nonconforming Lots, Uses and Signs

Vice-Chair Scwartzenberger read a statement as he would not be able to attend next month's meeting. A proposed map was shared with the board and members of the audience.

"Over the past several months through participation in CDB meetings, observation in city council meetings, my own research, and consistent resident feedback, I have come to the conclusion that there are a couple of main areas of the proposed code that are driving a wedge between the residents and their own city government. To me these are the R4 Overlay guidelines and the proposed changes in C1 zoning. It was thru re-reading the following section of our code that I was inspired and then had an idea I wanted to share.

Article IV / Land Use

Sec. 27-215. - Purpose and intent.

(a) The City of Neptune Beach, Florida is a residential community. The primary goals of the city, upon which the comprehensive plan was developed, are to preserve the natural beauty, pleasant environment and unique character of the city; to retain the quality of our existing residential neighborhoods by encouraging the residents to maintain and improve their property and protect these areas from the encroachment of detrimental and noncompatible land uses; and to insure that future residential areas are well planned and provided with full and adequate urban services.

// This language Runs contradictory to the proposed zoning use changes in C1. but also provides excellent guidance on how to move forward.

I want to pass you each a zoning map with a slight change that will be good reference for the rest of my short statement.

Take a look at C1 both east and west of third St. There is a clear visual distinction, and it only makes sense to have a zoning distinction between C1 west of third and the smaller C1 area east of third. With BOA certain to redevelop in the future, have we considered a flex zoning zone? A mix of residential and commercial? The BOA redevelopment will be critical to the future of NB.

PUD's have also been a point of contention, with some residents asking for them to be removed completely. Residents are also wary of a PUD becoming a workaround for certain types of special exceptions that are explicitly excluded.

I propose keeping C1 west of third zoning as is, with the same special exceptions in place now... other than one change : an additional special exception allowing mixed use in terms of additional residential units. This idea is consistent to what was approved in our most recently passed Comprehensive Plan in Chapter 2, Page 20. (Given that much of the corridor is already residential, it is worth considering allowing mixed-use development in the C-1 zoning district that would allow for "missing middle" housing such as second-floor residential, bungalow courts, and employee housing.) In addition, and to create the zoning distinction, I propose to have a step down flex zone within the first block of the R4 overlay, with a hybrid of CBD components mixed in with Residential units as described in the R4 overlay zone.

Neptune Beach, up to this point, has done a beautiful job of mixing old with new. What I am asking you to consider is progress for the city, but within the guidelines and roots of our recently passed comprehensive plan."

Chair Forsio opened the floor for general comments from the public.

Shellie Thole, 124 Margaret St, C-1 is peaceful and quite and should remain that way. She is depending on the board to listen.

Chuck McCue, 1908 Third St, controlled growth is good. Prefers to have development of Atlantic Blvd. Worried about Coffee shops or restaurants on Third St. Would like office type uses. The C-1 would go from Atlantic Blvd to Bay Street and not extend to Seagate.

Scott Wiley, 723 Davis St, not in favor of C-1 changes. PUDs need to be removed from the Code completely.

David Bais, 800 First St, agrees with the previous speakers. Concerned with the Dover Kohl understanding of the city and what the citizens wanted. Examples: R-4 changed setbacks, Floor Area Ratio removed, impervious surfaces increased. We need more time to review before approval. The Comp Plan is a 25-year document. Needs to be taken seriously and slow.

Rob Johnson, 700 Valley Forge Rd N, the code has to be enforced. Setbacks, no one wants larger structures, slow down traffic, keep it the way it is. Don't let money rule the community.

Caitlin Baiata, 453 Bowles St, C-1 is the biggest elephant in the room. Everybody loves it. Remove all special exceptions from C-1.

Public Comments were closed, and the Board discussed the proposed changes.

Mr. Hilton reminded everyone that the Board is here to make a recommendation and the citizens should reach to City Council with their concerns.

Article V Accessory Structures and Use: These types of structure would encourage short term rentals. Pull out section 27-328(4) completely. Change the 5-foot setbacks from the eaves not the exterior wall. Typos in lettering. 27-330 the wording needs to be redone. 27-331-add a 15-day extension allowable if requested in writing 27-332(a) remove last line 27-332 (e) remove word "extra" 27-340 Accessory apartments. Remove entire section. Article VI Concurrency: 27-350(a) Change "encourage" to "shall"; add comma between designee and to 27-351-Get with Public Works concerning water and seer gallon capacity per day
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ZZ-351-Get WITE PUBLIC WORKS concerning water and seer gallon capacity per day
Article VII Protection of Potable Water Wellsfields: No comments
Article XIII Parking & Loading:
27-532 last line "the parking space required shall be <u>rounded up</u> to the nearest whole
number
27-536-move all definitions to section27-15 and make sure motorized vehicle
complies with new ordinances
Fix typos especially Community Design back to Community Development
27-541 Change Community Development to either "Director" or "Department" to be
consistent.

In lieu fees to be assessed on full number of spaces required, not on any reduced credit such as in the CBD. Clarify in text. 27-542-bike racks should be made out of aluminum

Chapter 8 Buildings and Building Regulations: No comments

Article VII Coastal Construction Code" No comments

Article XV Advertising:

27-596-add a process for submitting an art project and if changes are to be made once a mural has been approved and installed.

Article XVIII Nonconforming Lots, Uses and Signs: 27-706-Create retrofits, add RC overlay retrofits. There was some discussion on how this would work and how far do you go.

Open Chuck McCue: 27-563 cc vs watts for electric bikes. Bank of America and Regions Banks properties could use a wall along Second Street instead of landscaping. Prefers the spiral type of bike racks.

Board comments: The courts at Jarboe Park should be used for all types of sports. How do you determine what is art? It is hard to regulate. Fence height-should it be measured from the finish level of the house or the nature grade?

Adjournment The next board meeting will be May 11, 2022, at 6:00 pm. There being no further business, the meeting was adjourned at 9:27 p.m.

Robert Frosio, Chairperson

ATTEST:

Piper Turner, Board Secretary



Agenda Item #9A Res. No. 2022-05 Parking

CITY OF NEPTUNE BEACH CITY COUNCIL MEETING STAFF REPORT

AGENDA ITEM:	Resolution No. 2022-05
SUBMITTED BY:	Megan Steward, Mobility Management Director
DATE:	April 28, 2022
BACKGROUND:	 The City of Neptune Beach currently has a resident parking program with 35 designated spaces in which registered residents can park. Given the current underutilization of these spaces and the feedback we've received from our residents, this resolution creates an allowance for resident parking available throughout the main, on-street paid parking zone, given the following conditions: 1) Residents must pre-register and be approved to park; 2) Residents are limited to three free hours of parking per day; and 3) Residents must check in using the mobile app or a City kiosk. Requiring resident check-in will result in several immediate benefits: First, residents will have a clear understanding of when their parking time expires. Secondly, the parking program will be able to track resident usage of BTC parking, which will improve our data analytics and help us better understand our residents' needs.
BUDGET:	Programming changes totaling \$350 in 500-1550-541-30-31 Paid Parking Professional Services
RECOMMENDATION:	Staff respectfully recommends Council approval of the attached Resolution No. 2022-05.
	he resolution was moved forward for approval at the April 18 workshop
ATTACHMENT:	- Resolution No. 2022-05

SPONSORED BY: COUNCILOR MESSINGER



RESOLUTION NO. 2022-05

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF NEPTUNE BEACH, FLORIDA, MODIFYING PARKING RATES AND AVAILABILITY TO NEPTUNE BEACH RESIDENTS; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, since the inception of the paid parking program, Neptune Beach residents have had access to 35 designated spaces at Cherry, Walnut, and Second Streets, with no time limits except that overnight parking is prohibited; and

WHEREAS, many residents have expressed their desire to have access to all of the Neptune Beach paid parking spaces for a period at no charge; and

WHEREAS, the City observes that the spaces at Cherry, Walnut, and Second Streets are underutilized; and

WHEREAS, providing three (3) hours of parking per day to residents will continue to support the needs of the program to incentivize the turnover of spaces; and

WHEREAS, the City anticipates it will be several months before software programming and public education campaigns can be completed in order to permit this modification; and

WHEREAS, the City Council finds that making an adjustment to the availability of spaces is in the best interest of the City, its residents, and the paid parking program;

NOW, THEREFORE, be it resolved the City Council of the City of Neptune Beach:

SECTION 1. All Neptune Beach residents who have completed registration with the North Beaches Parking Program shall be entitled to <u>one block of up</u> three (3) hours per day of<u>free</u> parking <u>at no cost</u> in designated spaces regulated by the paid parking program. Residents who remain longer than three (3) hours per day may pay to park at the established rates. The City shall publish information on the process for registration prior to the effectiveness of this Resolution. Such <u>resident free</u>-parking shall not apply to any private lots managed by the North Beaches Parking Program.

SECTION 2. To qualify for the <u>resident_free</u> parking <u>program</u>, Neptune Beach residents must check in at a pay meter or with the mobile app.

SECTION 3. Nothing in this Resolution shall be deemed to vitiate or modify the powers of the city manager as provided in Article IV, Chapter 22 of the City's Code of Ordinances, including, in particular, those of Section 22-51.

SECTION 4. This Resolution shall take effect Friday, July 1, 2022.

PASSED AND ADOPTED by the City Council of Neptune Beach, Florida, at the Regular Council Meeting held this <u>2nd</u> day of <u>May</u>, 2022.

Elaine Brown, Mayor

Attest:

Catherine Ponson, City Clerk

Approved as to form and correctness:

Zachary Roth, City Attorney

Agenda Item # 9B Dancin' in the Street

March 18, 2022

Ms. Patsy Bishop Town Center Agency, Inc. 109 First Street Neptune Beach, FL 32266

Dear Ms. Bishop:

Thank you for your letter asking permission to conduct the annual Dancin' in the Street event on Saturday, May 21, 2022, from 11:00 am to 9:30 pm. It is my understanding that your request includes the closing of streets that perimeter Town Center on May 21st from 5:00 am to 11:00 pm. These streets include Atlantic Blvd. to Second Street and First Street from Atlantic Blvd. to Orange Street. Additionally, you are asking for the closure of the 100 block of Atlantic Blvd. from May 20th to May 22nd at Noon for stage setup and breakdown.

Lastly, your request also includes the waiver of the open container ordinance for the day to allow alcohol sales by the Town Center Agency, Inc. within the bounds of the event.

By way of this letter, the City of Neptune Beach is conditionally granting permission for this event. Conditions are as follows:

- must meet and adhere to all rules established by the City Manager's Office of the City of Neptune Beach
- 2) proof of liability for at least \$1 million naming the City of Neptune Beach as additional insured must be provided no later than 48 hours prior to the event
- 3) a contact name and number of a person in a position of responsibility must be provided for the event *(on file)*
- 4) adherence to all laws and ordinances pertaining to the City of Neptune Beach, the State of Florida, and the Federal Government, except the open container within the festival perimeter
- allowed use of the Neptune Beach City Hall Chambers on May 21st for banking purposes with the stipulation that <u>no alcohol is permitted</u> within the building at any time
- 6) inspection of the event by a City of Neptune Beach designated Fire Marshal to ensure the use of tents, etc., adheres to city code
- 7) noise, such as microphones, bullhorns, amplified music, etc., be kept to a minimal level and are not to be used before 9:00 am or after 9:30 pm
- 8) participants are prohibited from bringing coolers, backpacks, or alcoholic beverages into the event area
- 9) signage posted notating prohibited items that are visible prior to entry points and in the outer Town Center vicinity.
- 10) no bicycles, skateboards, and pets/animals permitted within the event perimeter
- 11) promoter must hire sixteen (16) Off-Duty Police Officers at \$55.00 per hour; pay rates for Police Officers from other jurisdictions will be paid at the rate set by that respective agency.
- 12) Town Center Staff must be actively available from the time of street closures until streets are reopened, and all personnel have been compensated as agreed. Town Center must provide a volunteer or staff at each entrance gate
- 13) Town Center Agency must hire a minimum of two (2) off-duty Florida Licensed Paramedics. In addition to standard medical equipment. Paramedics must be equipped with JFRD med coms and AED.
- 14) promoter must provide traffic control devices determined necessary to close streets and control area traffic, inclusive of the following:
 - Cones

- Road Closed Signs
- Local Traffic Signs
- Water Barricades
- Bike Racks
- Break-Away perimeter fencing
- Parking Areas /Security Policy signage posted
- 15) must contract with a State of Florida licensed security company to provide a minimum of two (2) uniformed security officers at each entry/exit gate. In addition, a security company representative must complete the venue walk-thru with the police department one week prior to the event. Security Officer's duties shall include, but are not limited to:
 - Access Control all entry gates-Bag Searches
 - Must have a "Metal Detection Wand" at each access gate for mandatory searches of all patrons entering the event
 - I.D. checks for over 21 at token/wristband locations.
 - Security Officers must be 2-way radio equipped
- 16) promoter must hire two (2) off-duty Neptune Beach Public Works employees to assist with the setup and breakdown of traffic-control devices and removal of trash from the venue at a rate of \$40.00 per hour
- 17) the Beaches Town Center Agency shall provide staff to regularly bag and remove trash and refuse during the event.
- 18) The Beaches Town Center Agency shall be required to provide trash bags and temporary trash receptacles that shall be placed throughout the venue.
- 19) Town Center vendors, volunteers, and staff working the event shall not consume alcoholic beverages.
- 20) areas used must be free of debris once the event is completed
- 21) the City assumes no liability for any accident or injury that may occur during the event, and your organization will hold the City harmless should any occur
- 22) failure to abide by any of the conditions set forth could result in the event being shut down at any time.

Should you have any questions or need further information regarding this issue, please let me know.

Sincerely,

Stefen A.B. Wynn, *MPA* City Manager

cc: Richard Pike, Chief, NBPD Gary Snyder, Commander, NBPD Dustin Kamppi, Sergeant, NBPD

Dancin in the Streets 2022

Dear Mayor Brown and Council

I am writing you all today in hopes you can aid the Beaches Town Center Agency (BTCA) with our community fundraiser, Dancin' in the Street, Saturday, May21st 2022. Due to the COVID-19 Pandemic and the restriction put in place, the BTCA has been unable to raise funds for two years through our traditional events (Dancin' in the Streets, Costal Carnival, etc.) excluding our sale of bricks. The BTCA Board has worked tirelessly to solicit funds from local businesses as well as individual sponsors but this has not been enough to keep up with rising costs of stages, fencing, supplies etc. The amount we pay for our Police Officers from Neptune and Atlantic Beach amounts to around \$10,000. This does not include the additional requested outside security contractor costs of \$5,000 for wanding, purse and bag checks, for which we have raised the funds for.

Is it possible for the City of Neptune Beach and Neptune Beach Police Department to partner with the Beaches Town Center Agency on this event and assume the costs of our NBPD Officers? If so I will reach out to Mayor Glasser, Atlantic Beach Commission and ABPD for the same consideration.

This partnership would ensure that the Beaches Town Center Agency and all its volunteers will be in a solid position to increase our budget for beautification of our Town Center as well as all of the other projects that do so much to enhance our beautiful community such as the Fall Festival, Christmas lights and events, etc. As a reminder, 100% of BTCA funds go back into enhancing our Corner with ZERO salary's taken by the board or its volunteers.

Thank you for your consideration. Sincerely,

Claime Ferrie

Elaine Férris Safety Chair – Dancin' in the Street 16 Year Volunteer



Agenda Item #9C Senior Center Design

CITY OF NEPTUNE BEACH CITY COUNCIL MEETING STAFF REPORT

AGENDA ITEM:	Senior Center Design
SUBMITTED BY:	Marquis Latimer + Halback(MLH)
DATE:	April 28, 2022
BACKGROUND:	At the April 18, 2022 Council workshop, the Senior Center Design renderings were discussed and the architect, MLH, has submitted bid drawing sets for consideration.
BUDGET:	
RECOMMENDATION:	Consider the bid drawings from MLH for RFP for exterior of Senior Activity Center
ATTACHMENT:	Bid drawings from MLH

FW: 21.45.0 Neptune Beach Senior Center: bidding sets

Stefen Wynn <cm@nbfl.us> Fri 4/29/2022 4:26 PM To: Catherine Ponson <clerk@nbfl.us> Cc: Cheryl Bäck <acm@nbfl.us>



Stefen Wynn, *M.P.A.* Neptune Beach City Manager City of Neptune Beach 116 1st St. Neptune Beach, Fl. 32266 Phone: (904) 270-2400; ext.31 Email: <u>CM@nbfl.us</u>



From: Jeremy Marquis < jeremy@halback.com>

Sent: Wednesday, April 27, 2022 4:22 PM

To: Stefen Wynn <cm@nbfl.us>; Leslie Lyne <dsc@nbfl.us> Cc: Samatha Brisolara <cdd@nbfl.us>; Piper Turner <piperturner@nbfl.us>; Cheryl Bäck <acm@nbfl.us>; Les Thomas <lesthomasarchitect@gmail.com>; Jeremy Calloway <jeremy@mavengineers.com>; Fremont Latimer <fremont@halback.com>; Gavin Cain <Gavin@halback.com>; Carolina Schultz <carolina@halback.com>

Subject: 21.45.0 Neptune Beach Senior Center: bidding sets

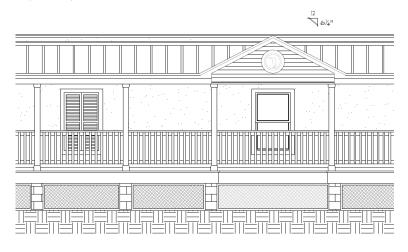
27 April 2022

Good afternoon, Stefan and Leslie,

Please see attached for the two bid drawing sets for the following:

- Architecture, including additive alternates for the eastern gable projection and the faux shutters.
- Site work, including civil and landscape.

A quick snapshot of the architectural edits:



Please review, and let us know if you have any questions or need anything further for the bid packages. Fingers crossed we get some positive pricing!

Jeremy

Jeremy Marquis, RLA, Principal ASLA, LEED AP BD+C Marquis Latimer + Halback, Inc. 34 Cordova Street, Suite A St. Augustine, FL 32084 904.540.6940 (c) 904.825.6747 (o)

From: Jeremy Marquis Sent: Friday, April 22, 2022 11:24 AM

To: Stefen Wynn <<u>cm@nbfl.us</u>>; Leslie Lyne <<u>dsc@nbfl.us</u>>

Cc: Samatha Brisolara <<u>cdd@nbfl.us</u>>; Piper Turner <<u>piperturner@nbfl.us</u>>; Cheryl Bäck <<u>acm@nbfl.us</u>>; Les Thomas

<<u>lesthomasarchitect@gmail.com</u>>; Jeremy Calloway <jeremy@mavengineers.com>; Fremont Latimer <<u>fremont@halback.com</u>>; Gavin Cain <<u>Gavin@halback.com</u>>; Carolina Schultz <<u>carolina@halback.com</u>>

Subject: 21.45.0 Neptune Beach Senior Center: updates on council feedback + bidding next steps + SJRWMD permitting

22 April 2022

Good morning, Stefen and Leslie,

Great to talk with you, and we're happy to hear that the Council has given good feedback. Notes are below in red.

We will be sending over 2 bid drawing packages:

- Architecture, including additive alternates for the eastern gable projection and the faux shutters.
- Site work, including civil and landscape.

We will plan to have these to you in advance of the Wednesday, 4/27 deadline. I understand our schedule will include a 5/2 Council approval and 5/4 ITB advertisement (with our recommendation that it be a 45 day bidding period).

Thanks for the signed application for SJRWMD. Per our discussion, we will be working through this permitting in parallel with bidding.

For bidding, in addition to the list you all may have (and the public notifications), I would suggest we invite:

- Ginger Rivers, Rivers Construction ginger@riversconstructorsinc.com
- John Harward, JC Harward john@jcharward.com

Thanks so much,

Jeremy

Jeremy Marquis, RLA, Principal ASLA, LEED AP BD+C Marquis Latimer + Halback, Inc. 34 Cordova Street, Suite A St. Augustine, FL 32084 904.540.6940 (c) 904.825.6747 (o)

From: Stefen Wynn <<u>cm@nbfl.us</u>>
Sent: Monday, April 18, 2022 7:06 PM
To: Leslie Lyne <<u>dsc@nbfl.us</u>>; Jeremy Marquis <<u>jeremy@halback.com</u>>
Cc: Samatha Brisolara <<u>cdd@nbfl.us</u>>; Piper Turner <<u>piperturner@nbfl.us</u>>; Cheryl Bäck <<u>acm@nbfl.us</u>>
Subject: Council Comments on Renderings

Hi Jeremy & Leslie,

We have some feedback from Council that I'd like to discuss with you in greater detail. Please see the bullets below for your consideration.

• Scaling of materials - nice clad posts.

As discussed, these are 6x6 posts. Additionally, we will add some trim as discussed. See sketch below.



• Front of building and dead space to the right of the window – can we put a dedication plaque? Per our discussion, I understand that Leslie is working on this item. I'd suggest a 2x3 or 3x4 dimensions.

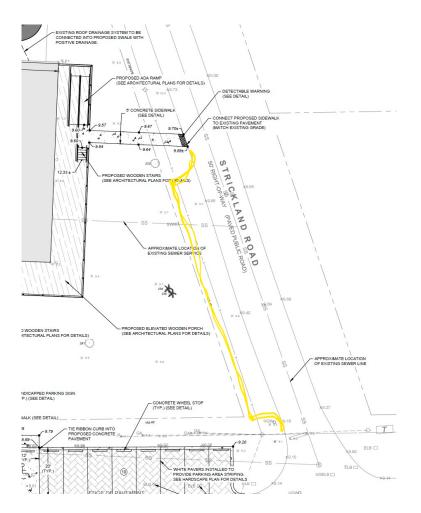
• East side of building alternate bids for faux shutters and cupola at sidewalk entrance to building.

Les is adding these to the plans. We think that more traditional faux shutters (versus Bahamian) will help to resolve the issue of them sticking out, so I asked Les to add this in. See sketch below.



• Alternate bid for parallel parking along Strickland.

Per our discussion, let's keep this as bahia grass flex space (to be used for parking or other uses). Our sketch for paved parallel (which could be added in the future) is below.



In Public Service,



Stefen Wynn, M.P.A.

Neptune Beach City Manager City of Neptune Beach 116 1st St. Neptune Beach, Fl. 32266 **Phone**: (904) 270-2400; ext.31 **Email**: <u>CM@nbfl.us</u>



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Samantha Brisolara, MURP, GIS Community Development Director

MEMORANDUM

Date: April 29, 2022

To: Stefen Wynn, City Manager Leslie Lyne, Senior Center Director

From: Sam Brisolara, Community Development Director

Subject: Senior Center Porch Plans Review

During initial review of the permit review plans submitted for the Neptune Beach Senior Center staff would like to provide the following comments for consideration prior to official permitting beginning with the provided architectural plans from Les Thomas, Architect.

• Sheet A3 displays the elevations. However, no height measurement was provided. Height should be measured to the ridgeline of the structure or the structure's highest point. Additionally, the "Right Elevation" does not include the ADA ramp placement. This elevation should be revised to display the proposed ramp.

The comments below pertain to the Permit and Bid Set prepared by Marquis Latimer & Hallback, Inc.

• Sheet L-3.1 proposes mulch in some landscaping areas. Staff suggests extending the curb to the stop bar to contain any mulched areas from discharging into the storm drains.

NEPTUNE BEACH SENIOR COMMUNITY CENTER PERMIT AND BID SET





Marquis Latimer + Halback, Inc. Project Management + Landscape Architecture

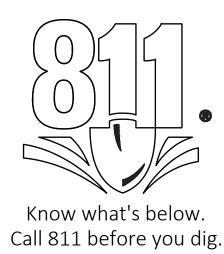
Project Manager: Jeremy Marquis | jeremy@halback.com 34 Cordova Street, Suite A, St. Augustine, FL 32084 Ph: 904.825.6747 Florida I A6667110

Maverick Engineering

Civil engineer Project Manager: Jeremy Calloway | jeremy@mavengineers.com 10 Willow Winds Parkway, St Johns, FL 32259 Ph: 904.655.6687

Les Thomas Architect, Inc.

Architecture Project Manager: Les Thomas | lesthomasarchitect@gmail.com 32 Cordova Street, St. Augustine, FL 32084 Ph: 904.824.9508



PLEASE REFERENCE CIVIL AND ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.

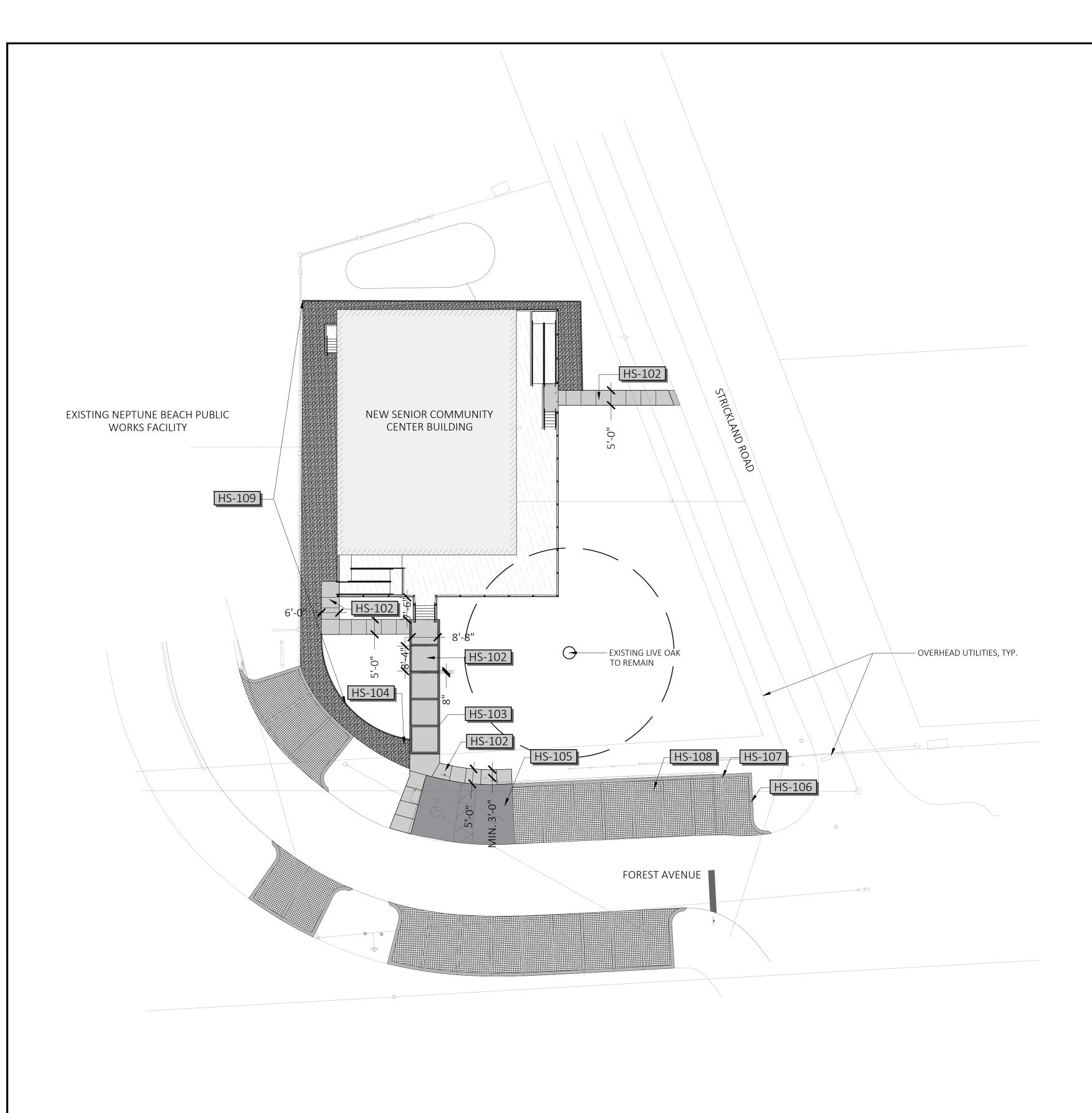
Prepared For

City of Neptune Beach, Florida Project Manager Jeremy Marquis, RLA Site Location 2004 FOREST AVENUE NEPTUNE BEACH, FLORIDA Jurisdictional Review City of Neptune Beach Planning and Community Development

	Sheet List Table		
Sheet Number	Sheet Title	Issue Date	Revision Date
	COVER SHEET	02/17/2022	
L-2.1	HARDSCAPE PLAN	02/17/2022	
L-2.2	HARDSCAPE DETAILS	02/17/2022	
L-3.1	LANDSCAPE PLAN	02/17/2022	
L-3.2	LANDSCAPE NOTES	02/17/2022	
L-3.3	LANDSCAPE DETAILS	02/17/2022	
L-4.1	IRRIGATION PLAN	02/17/2022	
L-4.2	IRRIGATION DETAILS	02/17/2022	
L-4.3	IRRIGATION DETAILS	02/17/2022	
L-4.4	IRRIGATION DETAILS	02/17/2022	
L-4.5	IRRIGATION DETAILS	02/17/2022	

NOT FOR CONSTRUCTION. FOR PERMIT REVIEW AND BIDDING PURPOSES ONLY.

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PERMALOC CORPORATION, 13505 BARRY STREET HOLLAND, MI, 49424 (800) 356-9660 PHONE: (616) 399-9600 fax: (616) 399-9770 WWW.PERMALOC.COM

ARCHITECT NOTE: CHECK OFF APPLICABLE SIZE & FINISH DESIRED SIZE:

□ 3/16. 8" (4.8MM X 203MM),0.116" (2.95MM) THICK WALL w/ 0.3" (7.62MM) EXPOSED TOP LIP □ MF

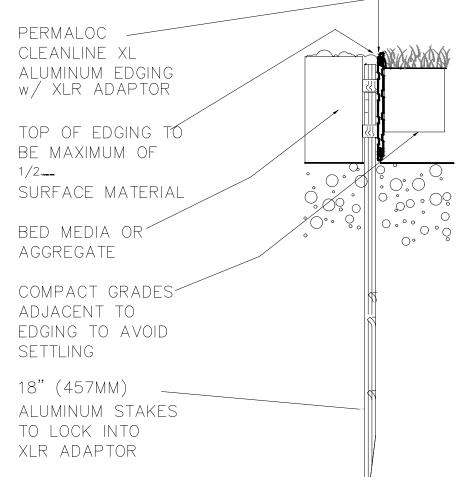
All dimensions are nominal and may have some variance

PRE-MANUFACTURED CORNERS AVAILABLE UPON REQUEST

FINISH LEGEND: (MF) MILL FINISH-NATURAL ALUMINUM

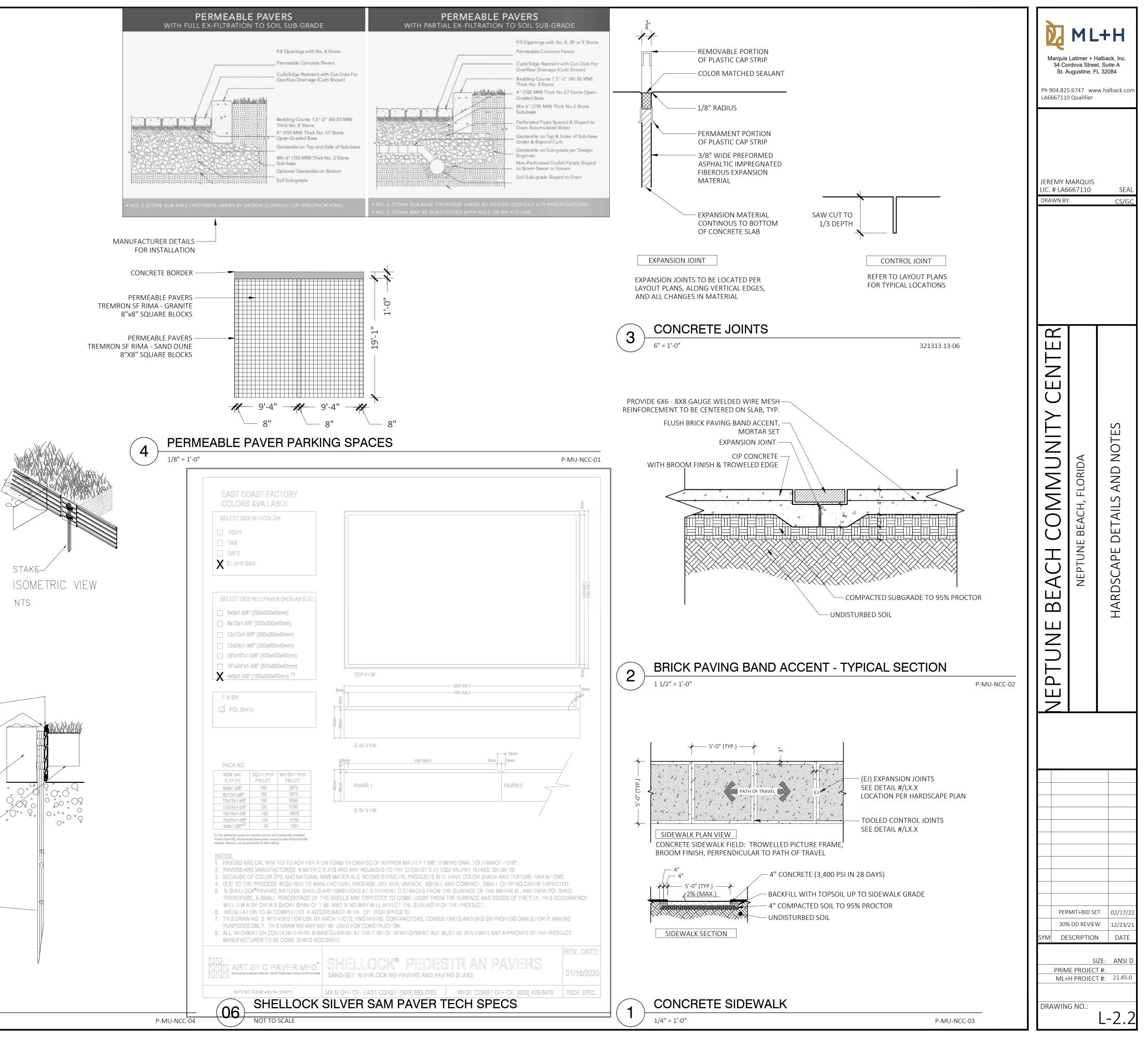
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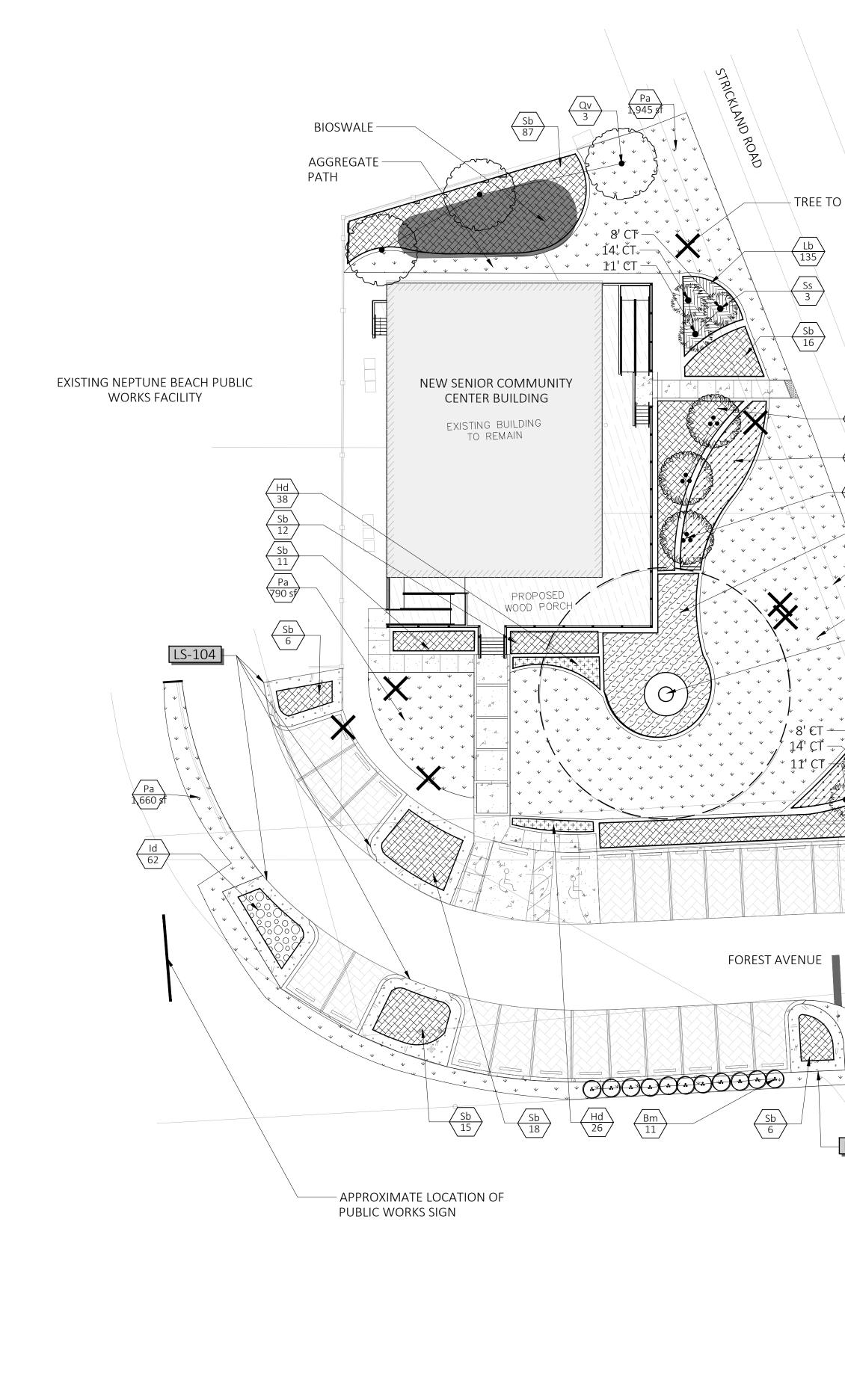
- 1. INSTALL PER MANUFACTURER'S "INSTALLATION GUIDELINES" 2. 8'-0" (2.44 M) SECTIONS TO
- INCLUDE (3) 18" (457 MM) ALUMINUM STAKES AND (3) XLR ADAPTORS
- 3 16'-0" (4.88 M) SECTIONS TO INCLUDE (5) 18" (457 MM) ALUMINUM STAKES AND (3) XLR ADAPTORS
- 4. CORNERS CUT BASE EDGING UP HALFWAY AND FORM A CONTINUOUS CORNER.
- 5. PERMALOC CLEANLINE XL AS MANUFACTURED BY PERMALOC CORPORATION, HOLLAND MI. (800) 356-9660, (616) 399-9600
- 6. CONTRACTOR'S NOTE: FOR PRODUCT AND PURCHASING INFORMATION VISIT: WWW.PERMALOC.COM



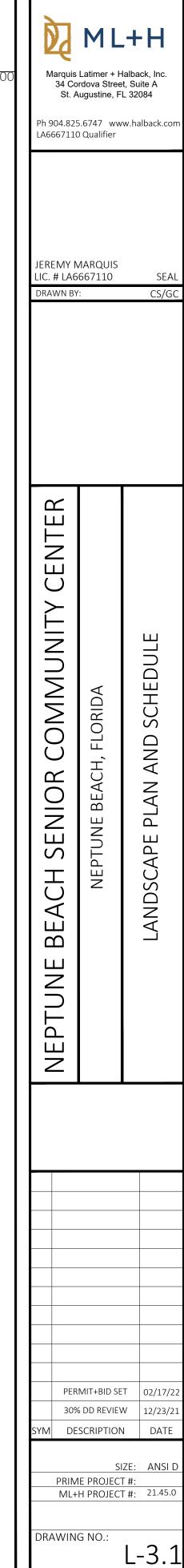
PERMALOC CLEANLINE ALUMINUM EDGING

5 NOT TO SCALE



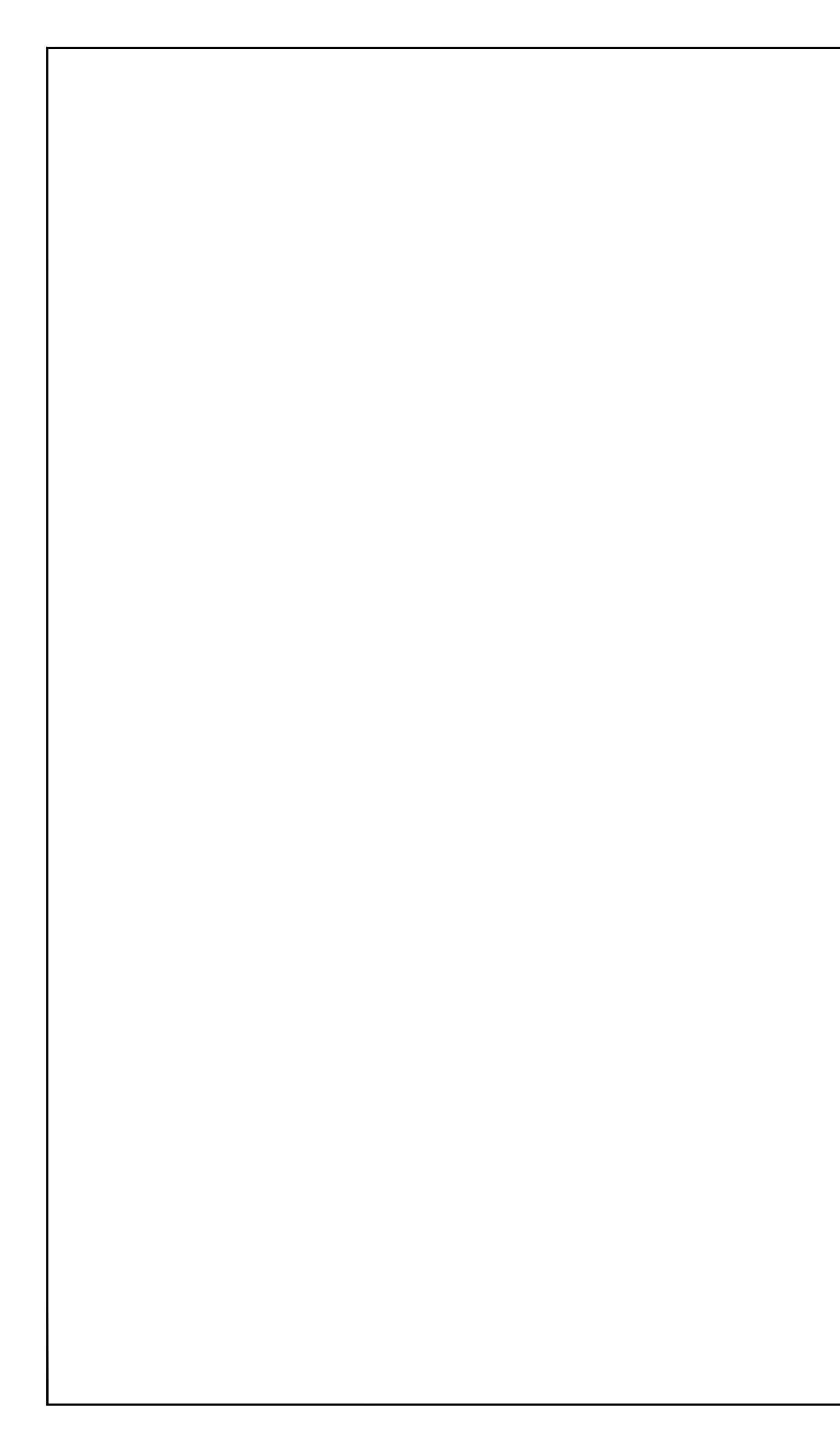


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	ster MM the	e e e	Qv	QUERCUS VIRGINIANA `FBQV22` TM / BOARDWALK SOUTHERN LIVE OAK	B&B, ROOT PLUS GROWERS	4"	14` - 16`		3
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		SHRUB AREAS	CODE	BOTANICAL / COMMON NAME	CONT	HEIGHT	SPREAD	SPACING	<u>QTY</u>
		+++++++ ++++++++ +++++++++++++++++++++	Hd	HELIANTHUS DEBILIS / DUNE SUNFLOWER	1 GAL.	8"	12"	24" o.c.	71
			Id	ILEX VOMITORIA 'SCHILLINGS DWARF' / SCHILLINGS DWARF YAUPON HOLLY	3 GAL.	12"	12"	21" o.c.	62
Sb			Lb	LIRIOPE MUSCARI `BIG BLUE` / BIG BLUE LILYTURF	3 GAL.	12"	12"	18" o.c.	102
$ \begin{array}{c} Sb \\ 38 \\ \hline 106 \\ \hline 106 \\ \hline \end{array} $			Ne	NEPHROLEPIS EXALTATA / BOSTON FERN	3 GAL.	16"	16"	28" o.c.	156
EVENT LA	AWN		Np	NERIUM OLEANDER 'PETITE PINK' / PETITE PINK OLEANDER	7 GAL.	18"	18"	28" o.c.	141
$ \begin{array}{c} $			Sb	SPARTINA BAKERI / SAND CORDGRASS	1 GAL.	24"	16"	50" o.c.	222
	LIVE OAK	GROUND COVERS	CODE	BOTANICAL / COMMON NAME	SPACING	<u>QTY</u>			
TREE PRO	DTECTION REQUIRED		Ра	PASPALUM NOTATUM `ARGENTINE` / ARGENTINE BAHIAGRASS		11,008 SF			
$\begin{array}{c} & & & \\ & & & & \\ & & & \\ & & & & \\ & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & & \\ & & & & \\ & & & & \\ & & & & & \\ & & & & \\ & & & & & \\ & & & & & \\ & & & & & \\ & & & & & \\ & & & & & \\ & & & & & \\ & & & & & \\ & & & & & \\ & & & & & \\ & & & & & \\ & & & & & \\ & & & & & \\ & & & & & \\$		REFERENCE	NOTES						
POTEN		SYMBOL DES	NDSCAPE SCRIPTION	2022-02-09 11:21 <u>QTY</u> <u>DETAIL</u> 995 SF					
		-							
ADD STOP SIGN									





10' 20' SCALE: 1"=20'-0" 40' 0'



GENERAL NOTES

- 1. CONTRACTOR SHALL PROVIDE LANDSCAPE BED PREPARATION, INCLUDING REMOVAL AND DISPOSAL OF EXISTING LANDSCAPE AND TREES (TREES TO REMAIN ARE NOTED ON PLAN). CONTRACTOR SHALL PULL ANY APPLICABLE PERMITS, SUCH AS TREE REMOVAL PERMIT.
- 2. SPRAY DOWN BASE OF BUILDING TO REMOVE SOIL FROM CONSTRUCTION ACTIVITIES.
- 3. PLANT MATERIAL SHALL CONFORM TO THE STANDARDS FOR GRADE #1 OR BETTER AS GIVEN IN THE LATEST "GRADES AND STANDARDS FOR NURSERY PLANTS, PARTS I AND II," FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES . PLANT SIZE IS TO TAKE PRECEDENCE OVER CONTAINER SIZE.
- 4. ALL TREES AND SHRUBS ARE TO BE POSITIONED VERTICALLY REGARDLESS OF THE SLOPE OF THE GROUND IN WHICH THEY ARE PLANTED. BERMS ARE TO BE CONSTRUCTED AT RIGHT ANGLES TO THE TREE OR SHRUB OR IN A MANNER IN WHICH THEY WILL MOST EFFECTIVELY SERVE THE PURPOSE OF RETAINING WATER AT THE BASE OF THE PLANT.
- 5. WEEDS ARE TO BE ADEQUATELY AND PROPERLY TREATED AND REMOVED PRIOR TO LANDSCAPE INSTALLATION. ALL SOIL AMENDMENTS SHOULD BE CERTIFIED AS WEED-FREE FROM THE SUPPLIER.
- 6. LANDSCAPE MATERIAL IS TO BE MAINTAINED BY THE LANDSCAPE CONTRACTOR (INCLUDING MOWING, PRUNING, AND WEEDING) UNTIL PLANTING IS APPROVED BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE CONTRACTOR MUST PROVIDE: (A.) A WARRANTY ON ALL TREES AND PALMS FOR A PERIOD OF (12) TWELVE MONTHS. (B.) A WARRANTY ON ALL SHRUBS AND GROUNDCOVERS FOR A PERIOD OF (12) TWELVE MONTHS. (C.) GUIDELINES FOR PROPER MAINTENANCE.
- 7. TREES SHALL NOT BE PLANTED CLOSER THAN 7.5' FROM THE CENTERLINE OF UNDERGROUND UTILITIES; ADJUST IN THE FIELD IF NEEDED.
- 8. BALLED AND BURLAPPED STRAPPING WIRE, AND ANY SYNTHETIC MATERIAL, SHALL BE REMOVED PRIOR TO FINAL INSPECTION. WIRE BASKETS SHOULD BE PULLED AWAY FROM THE TRUNK.
- 9. CONTRACTOR SHALL SCARIFY SOIL TO A DEPTH OF 12" IN AREAS WITH COMPACTED SOIL. CONTRACTOR SHALL EXCAVATE AND DISPOSE OF ALL STONE, DEBRIS AND BASE MATERIAL FROM PREVIOUS PARKING AREAS. BACK FILL WITH TOP SOIL WITH HIGH ORGANIC CONTENT AND CERTIFIED WEED FREE.

COORDINATION WITH PROJECT WORK

- 1. THE CONTRACTOR SHALL COORDINATE WITH ALL OTHER WORK THAT MAY IMPACT THE COMPLETION OF THE WORK.
- 2. PRIOR TO THE START OF WORK, PREPARE A DETAILED SCHEDULE OF THE WORK FOR COORDINATION WITH OTHER TRADES.
- 3. COORDINATE THE RELOCATION OF ANY IRRIGATION LINES, HEADS OR THE CONDUITS OF OTHER UTILITY LINES THAT ARE IN CONFLICT WITH TREE LOCATIONS. ROOT BALLS SHALL NOT BE ALTERED TO FIT AROUND LINES. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS ENCOUNTERED.

LAYOUT AND PLANTING SEQUENCE

- RELATIVE POSITIONS OF ALL PLANTS AND TREES ARE SUBJECT TO APPROVAL OF THE LANDSCAPE ARCHITECT.
- 2. NOTIFY THE LANDSCAPE ARCHITECT, ONE (1) WEEK PRIOR TO LAYOUT. LAYOUT ALL INDIVIDUAL TREE AND SHRUB LOCATIONS. PLACE PLANTS ABOVE SURFACE AT PLANTING LOCATION OR PLACE A LABELED STAKE AT PLANTING LOCATION. LAYOUT BED LINES WITH PAINT FOR THE LANDSCAPE ARCHITECT'S APPROVAL. SECURE THE LANDSCAPE ARCHITECT'S ACCEPTANCE BEFORE DIGGING AND START OF PLANTING WORK.

- WATER-SETTLE THE BACK FILL.

PRUNING OF TREES AND SHRUBS

MULCHING OF PLANTS

SOIL MIX

- 2. PH / BUFFER PH
- 3. SALINITY

- AMENDMENTS..

PLANTING GUIDELINES: TREES, SHRUBS & GROUNDCOVER

1. ASSURE THAT SOIL MOISTURE IS WITHIN THE REQUIRED LEVELS PRIOR TO PLANTING. IRRIGATION, IF REQUIRED, SHALL NOT BE APPLIED LESS THAN 12 HOURS PRIOR TO PLANTING TO AVOID PLANTING IN MUDDY SOILS.

2. ASSURE THAT SOIL GRADES IN THE BEDS ARE SMOOTH AND AS SHOWN ON THE PLANS.

3. PLANTS SHALL BE PLANTED IN EVEN, TRIANGULARLY SPACED ROWS, AT THE INTERVALS CALLED OUT FOR ON THE DRAWINGS, UNLESS OTHERWISE NOTED.

4. DIG PLANTING HOLES TWO TIMES (2x) THE WIDTH OF THE ROOT BALL AND BACK FILL WITH PLANTING MIX. SEE "SOIL MIX" GUIDELINES.

5. PRESS SOIL TO BRING THE ROOT SYSTEM IN CONTACT WITH THE SOIL.

6. SPREAD ANY EXCESS SOIL AROUND IN THE SPACES BETWEEN PLANTS.

7. APPLY MULCH TO THE BED BEING SURE NOT TO COVER THE TOPS OF THE PLANTS WITH OR THE TOPS OF THE ROOT BALL WITH MULCH.

8. WATER EACH PLANTING AREA AS SOON AS THE PLANTING IS COMPLETED. APPLY ADDITIONAL WATER TO KEEP THE SOIL MOISTURE AT THE REQUIRED LEVELS. DO NOT OVER WATER.

PALM PLANTING

1. PALM TREES SHALL BE PLACED AT GRADE MAKING SURE NOT TO PLANT THE TREE ANY DEEPER IN THE GROUND THAN THE PALM TREES ORIGINALLY STOOD.

2. THE TREES SHALL BE PLACED WITH THEIR VERTICAL AXIS IN A PLUMB POSITION.

3. ALL BACKFILL SHALL BE NATIVE SOIL EXCEPT IN CASES WHERE PLANTING IN ROCK.

4. DO NOT COVER ROOT BALL WITH MULCH OR TOPSOIL.

5. PROVIDE A WATERING BERM AT EACH PALM. BERMS SHALL EXTEND A MINIMUM OF 18 INCHES OUT FROM THE TRUNK ALL AROUND AND SHALL BE A MINIMUM OF (6) INCHES HIGH.

6. REMOVE TWINE WHICH TIES FRONDS TOGETHER AFTER PLACING PALM IN PLANTING HOLE AND SECURING IT IN THE UPRIGHT POSITION.

1. IF PRUNING OF EXISTING TREES OR PLANT MATERIAL IS REQUIRED THE CONTRACTOR SHALL ADHERE TO ANSI Z133.1 STANDARDS FOR TREE CARE AND INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) BEST MANAGEMENT PRACTICES.

1. SCHEDULE THE PLANTING TO OCCUR PRIOR TO APPLICATION OF THE MULCH. IF THE BED IS ALREADY MULCHED. PULL THE MULCH FROM AROUND THE HOLE AND PLANT INTO THE SOIL. DO NOT PLANT THE ROOT SYSTEM IN THE MULCH. PULL MULCH BACK SO IT IS NOT ON THE ROOT BALL SURFACE.

APPLY A MINIMUM OF 2-3 INCHES DEPTH OF PINE STRAW MULCH BEFORE SETTLEMENT, COVERING THE ENTIRE PLANTING BED AREA. INSTALL NO MORE THAN 1 INCH OF MULCH OVER THE TOP OF THE ROOT BALLS OF ALL PLANTS. TAPER TO 2 INCHES WHEN ABUTTING PAVEMENT.

3. FOR TREES PLANTED IN LAWN AREAS THE MULCH SHALL EXTEND TO A 5 FOOT RADIUS AROUND THE TREE OR TO THE EXTENT INDICATED ON THE PLANS AND SPACED AT LEAST SIX INCHES AWAY FROM THE TREE TRUNK. MULCH TREES IN TURF AREAS PRIOR TO HYDROSEEDING.

4. LIFT ALL LEAVES, LOW HANGING STEMS AND OTHER GREEN PORTIONS OF SMALL PLANTS OUT OF THE MULCH IF COVERED.

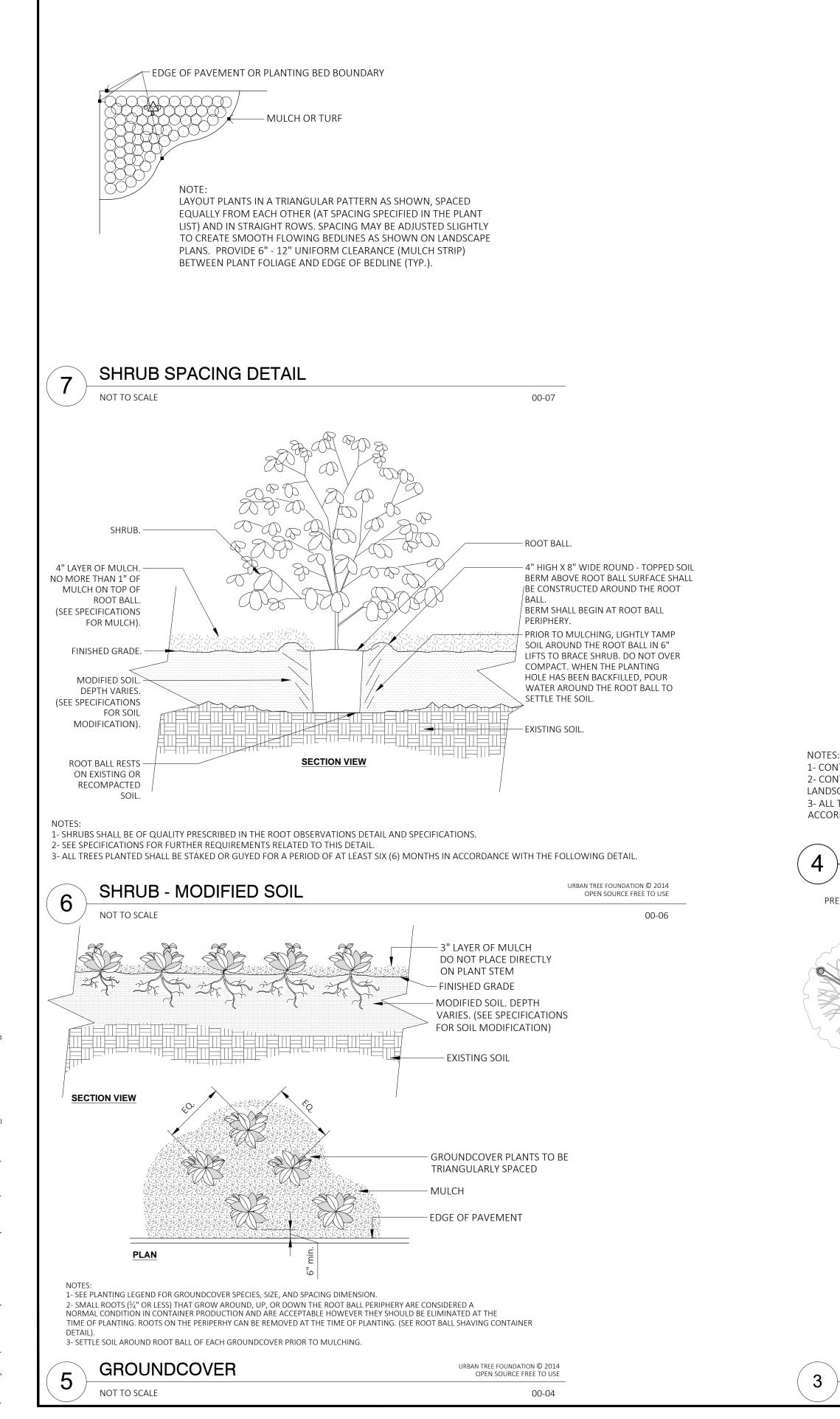
1. CONTRACTOR SHALL OBTAIN SOIL TESTING FOR THE PROJECT AREA TO DETERMINE AGONOMIC SUITABILITY. RESULTS SHALL BE REVIEWED WITH THE OWNER AND LANDSCAPE ARCHITECT PRIOR TO PLANTING. AT A MINIMUM, SOIL TESTS SHOULD CONSIDER THE FOLLOWING

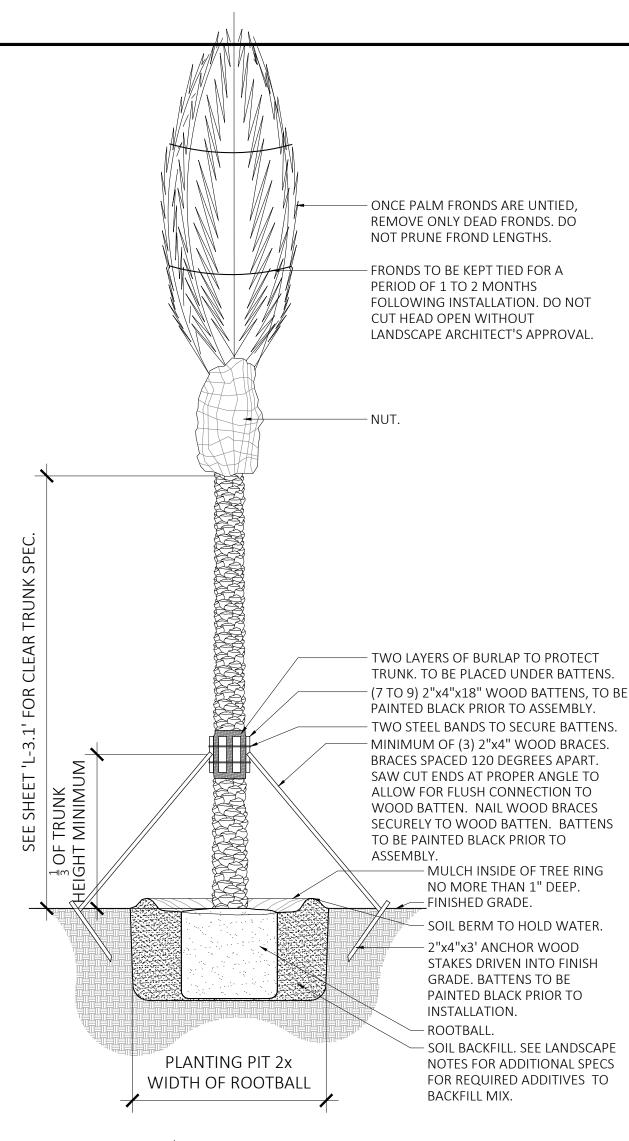
4. ORGANIC CONTENT / SAND CONTENT / SILT AND CLAY CONTENT (PERCENTAGE) 5. PHOSPHOROUS / POTASSIUM / CALCIUM / MAGNESIUM 6. AASHTO CLASSIFICATION 7. PERCOLATION RATE

8. CONTRACTOR IS TO PROPOSE A SOIL MIX DESIGN BASED UPON RESULTS OF TESTING. THESE RECOMMENDATIONS SHOULD ALSO TAKE INTO ACCOUNT THE TEST RESULTS FROM SAMPLES AND TESTING DATA SHALL BE SUBMITTED AT THE SAME TIME. PROVIDE A SUBMITTAL OF A TWO GALLON SAMPLE WITH TESTING DATA THAT INCLUDES RECOMMENDATIONS FOR CHEMICAL ADDITIVES FOR THE TYPES OF PLANTS TO BE GROWN. . CONTRACTOR SHALL INCLUDE THE COST OF SOIL TESTING IN THE BASE BID AS WELL AS A APPLICATION OF SLOW RELEASE BALANCED FERTILIZER. CONTRACTOR WILL PROVIDE A PROPOSAL FOR ANY ADDITIONAL

9. AT THE TIME OF FINAL GRADING, ADD FERTILIZER OR ACIDIFIER IF REQUIRED TO THE PLANTING SOIL AT RATES RECOMMENDED BY THE TESTING RESULTS FOR THE PLANTS TO BE GROWN.

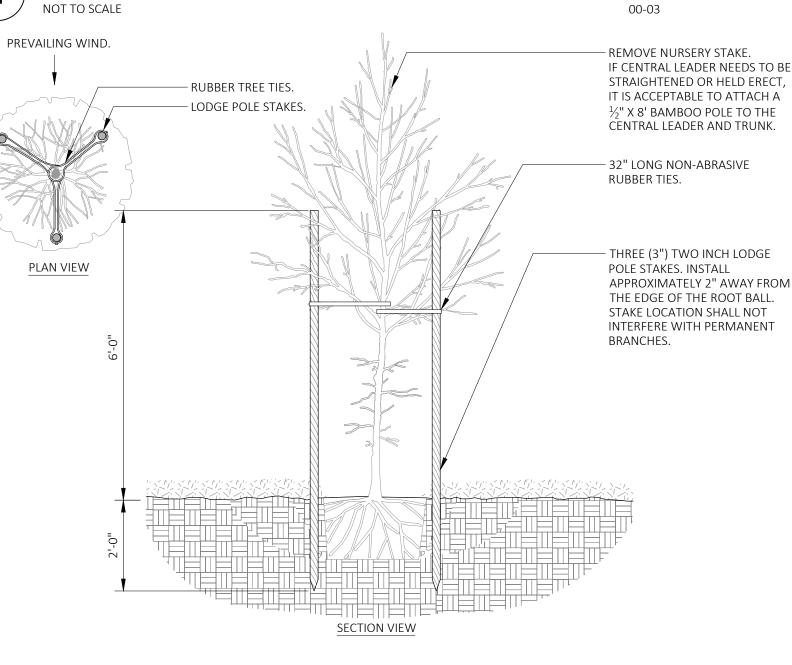
Marquis 34 Cc St. <i>A</i> Ph 904.82 LA666711	ordova Stree Augustine, F 5.6747 ww 0 Qualifier 0 Qualifier 5667110	lalback, Inc. ₂t, Suite A
NEPTUNE BEACH COMMUNITY CENTER	NEPTUNE BEACH, FLORIDA	LANDSCAPE NOTES
309	RMIT+BID SE % DD REVIE\ ESCRIPTION	N 12/23/21
	SI <u>1E PROJEC</u> H PROJEC	
DRAWIN	IG NO.:	L-3.2



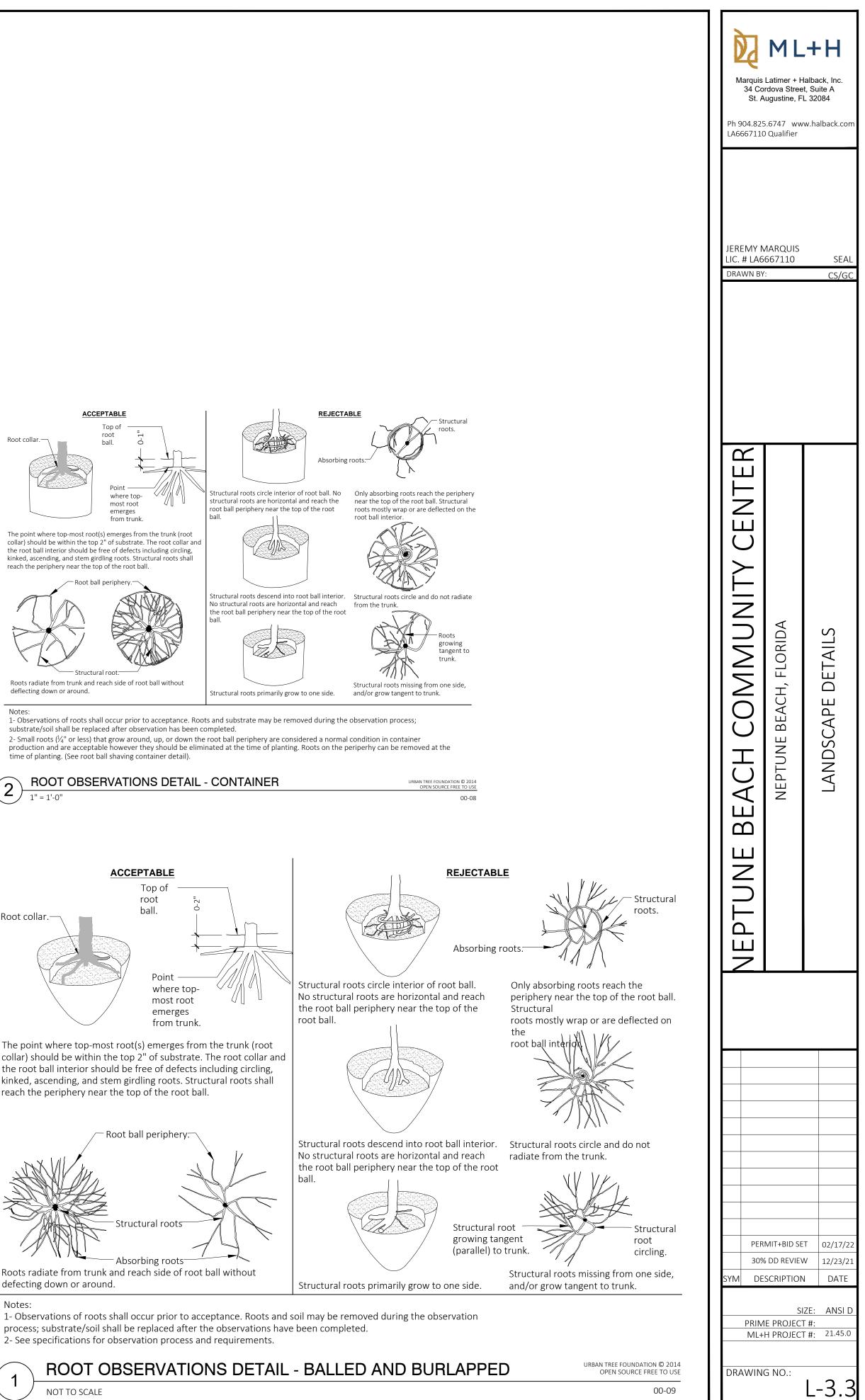


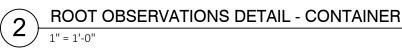
1- CONTRACTOR TO ASSURE DRAINAGE/PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION. 2- CONTRACTOR TO STAKE LOCATION OF PALMS, OUTSIDE OF CONFLICT WITH UNDERGROUND UTILITIES, FOR LANDSCAPE ARCHITECT'S REVIEW AND APPROVAL PRIOR TO INSTALLATION. 3- ALL TREES PLANTED SHALL BE STAKED OR GUYED FOR A PERIOD OF AT LEAST SIX (6) MONTHS IN ACCORDANCE WITH THE FOLLOWING PLANTING DETAIL.

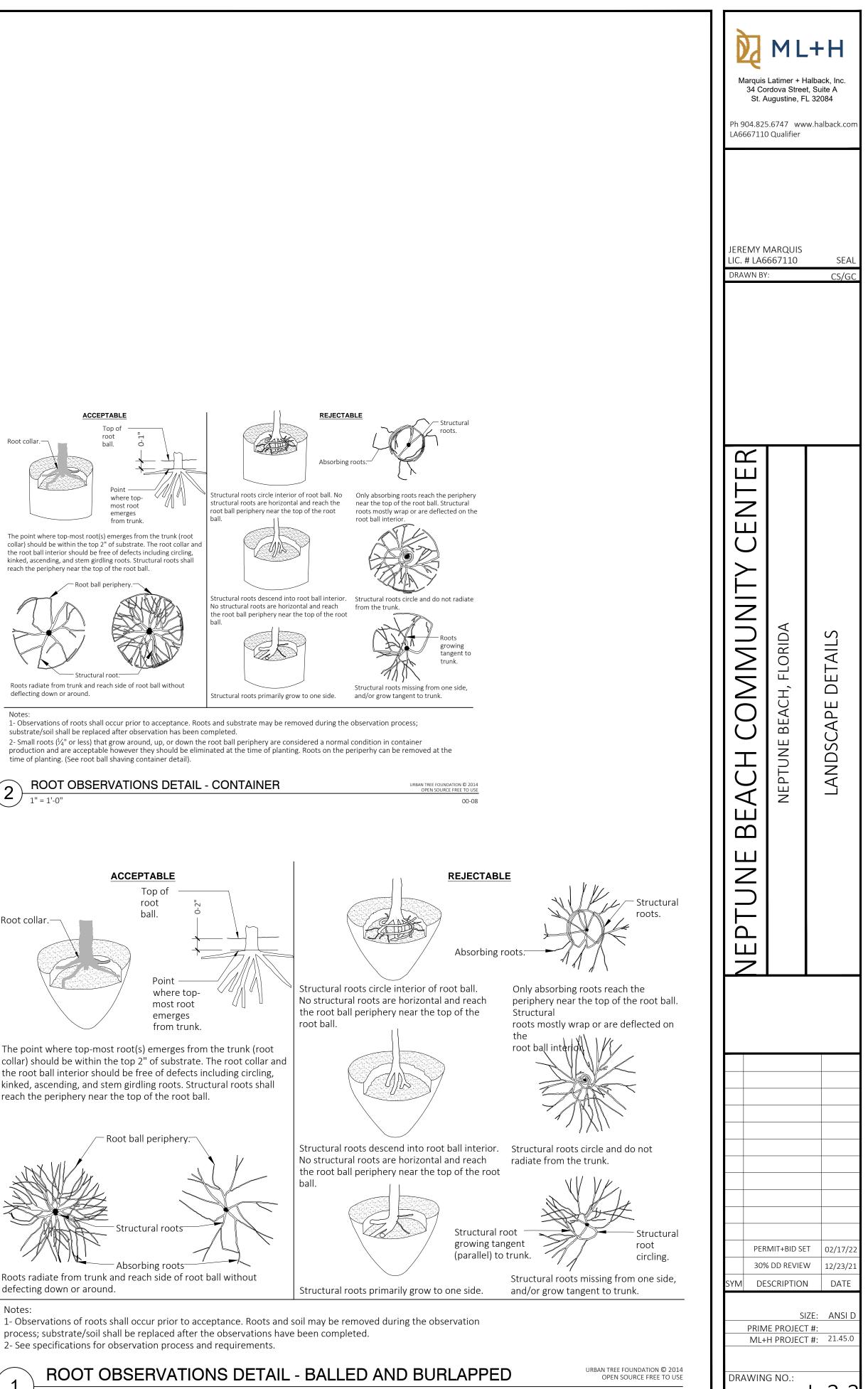
PALM PLANTING & STAKING DETAIL

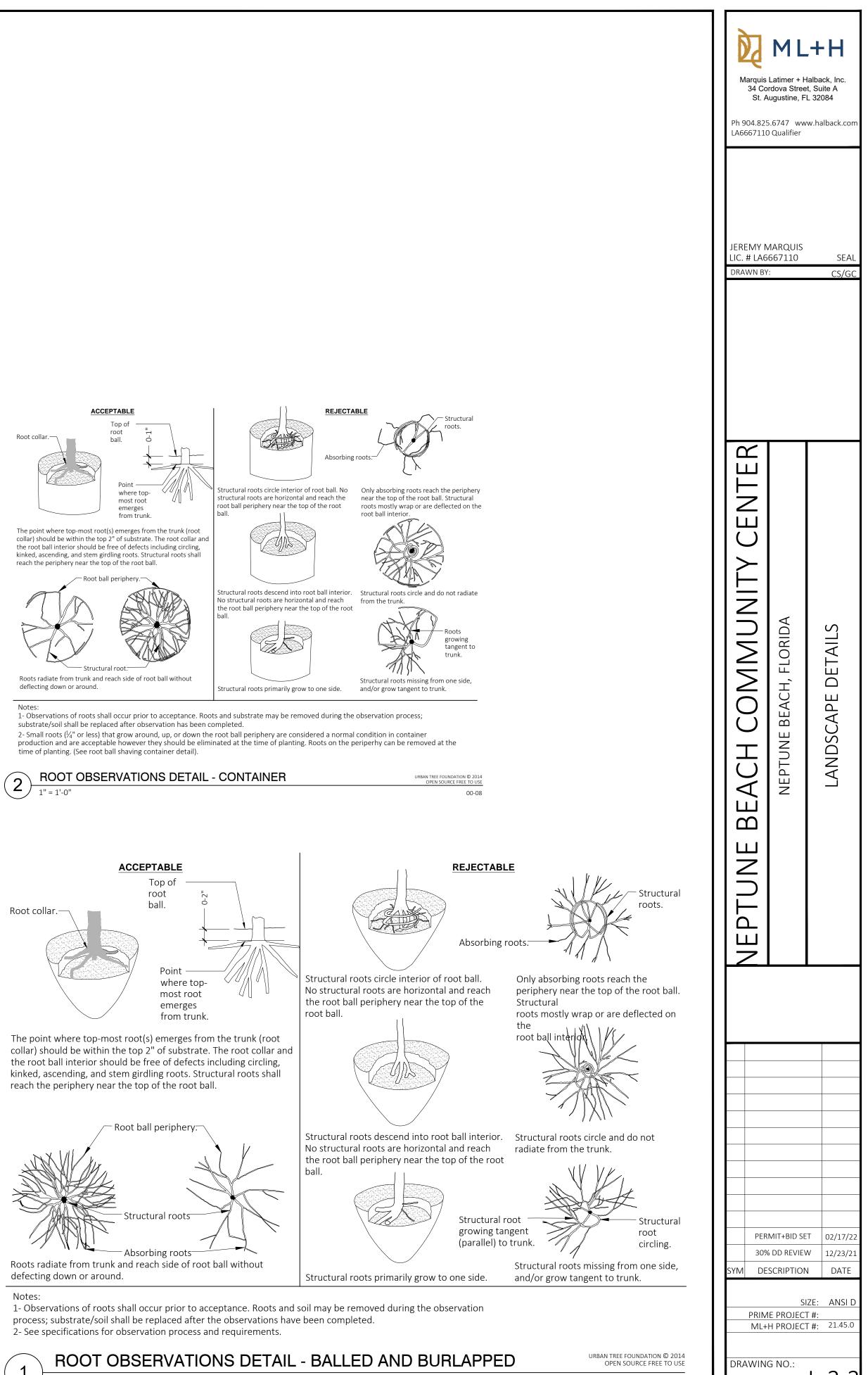


TREE STAKING - LODGE POLES (3) (TREES > 12' OA.) NOT TO SCALE





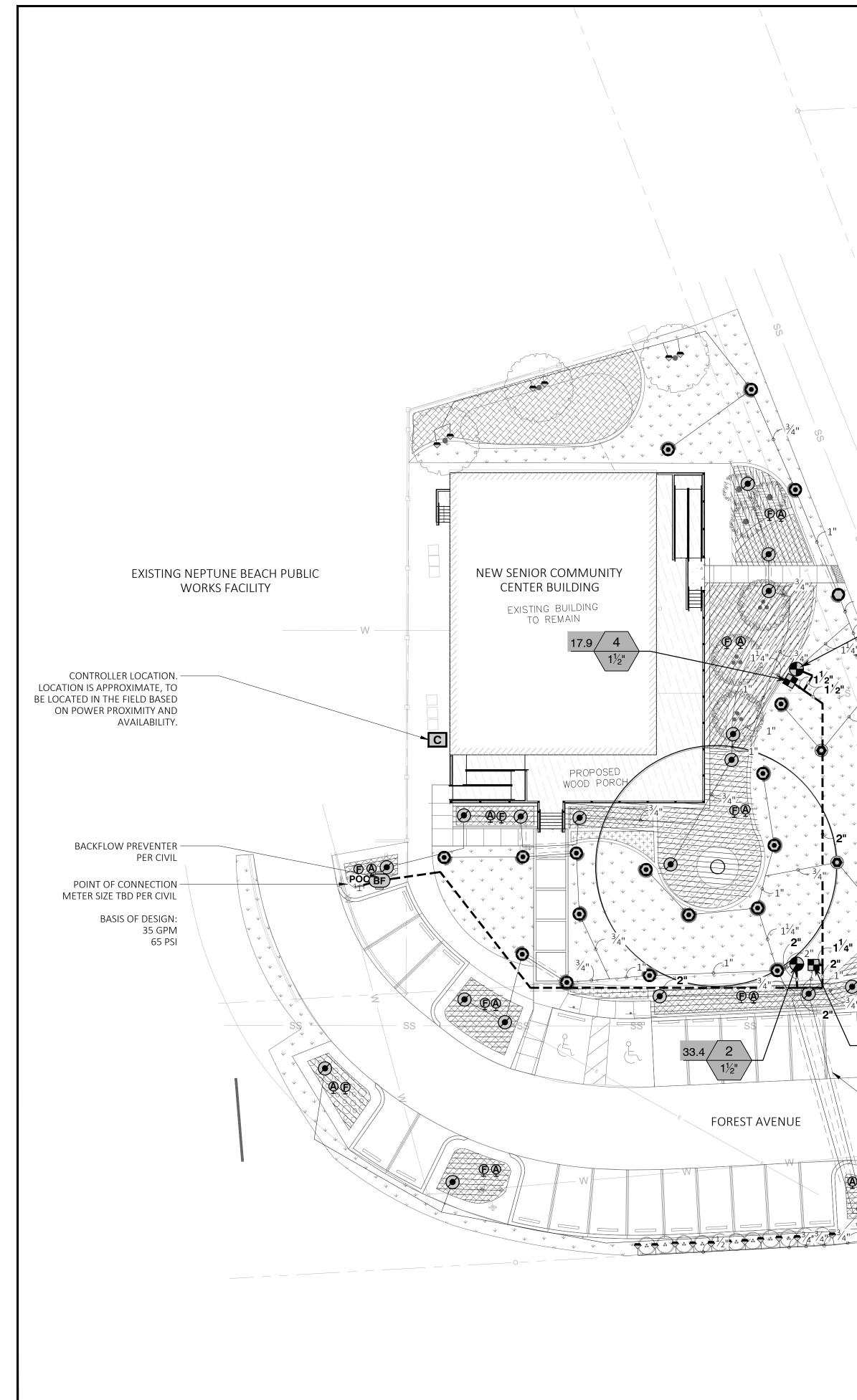




URBAN TREE FOUNDATION © 2014 OPEN SOURCE FREE TO USE 00-14

NOT TO SCALE

00-09



	IRRIGATION SCI	HEDULE		
	SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	18 ADJ 18 F	RAIN BIRD R-VAN18 1804-SAM-P45 TURF ROTARY, 13`-18` 45-270 DEGREES AND 360 DEGREES. HAND ADJUSTABLE MULTI-STREAM ROTARY W/1800 TURF SPRAY BODY ON 4" POP-UP, WITH CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATOR. 1/2" NPT FEMALE THREADED INLET.	1	45
	24 ADJ 24 F	RAIN BIRD R-VAN24 1804-SAM-P45 TURF ROTARY, 17`-24` 45-270 DEGREES AND 360 DEGREES. HAND ADJUSTABLE MULTI-STREAM ROTARY W/1800 TURF SPRAY BODY ON 4" POP-UP, WITH CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATOR. 1/2" NPT FEMALE THREADED INLET.	23	45
	 	RAIN BIRD 1804-1400 FLOOD 1401 FLOOD BUBBLER 4.0" POPUP	18	40
	SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
		RAIN BIRD XCZ-150-LCS HIGH FLOW CONTROL ZONE KIT, FOR LARGE COMMERCIAL DRIP ZONES. 1-1/2\" PEB GLOBE VALVE WITH SINGLE 1-1/2\" PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTER. FLOW RANGE: 15-62 GPM.	2	
	۲	PIPE TRANSITION POINT ABOVE GRADE PIPE TRANSITION POINT FROM PVC LATERAL TO DRIP TUBING WITH RISER TO ABOVE GRADE INSTALLATION.	20	
	Ę	RAIN BIRD MDCFCAP DRIPLINE FLUSH VALVE CAP IN COMPRESSION FITTING COUPLER.	11	
	Ą	RAIN BIRD ARV050 1/2" AIR RELIEF VALVE, MADE OF QUALITY RUST-PROOF MATERIALS, WITH A 6" DRIP VALVE BOX (SEB 7XB EMITTER BOX). USE WITH INSTALLATION BELOW SOIL. THE VALVE WILL ALLOW AIR TO ESCAPE THE PIPELINE, THUS PREVENTING WATER HAMMER OR BLOCKAGE.	11	
• STRICKLAM 3 19.0 1" 1" 1"		AREA TO RECEIVE DRIPLINE RAIN BIRD XFD-06-18 XFD ON-SURFACE PRESSURE COMPENSATING LANDSCAPE DRIPLINE. 0.6 GPH EMITTERS AT 18" O.C. DRIPLINE LATERALS SPACED AT 18" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. UV RESISTANT. SPECIFY XF INSERT FITTINGS.	4,742 L.F.	40
O 1" 3 19.0 1"	SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
		RAIN BIRD PEB 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION.	2	
	BF	ZURN 375 1-1/2" REDUCED PRESSURE PRINCIPLE ASSEMBLY. SIZES 1/2",3/4", 1", 1-1/4", 1-1/2", 2".	1	
	С	RAIN BIRD ESP4ME3 WITH (1) ESP-SM3 7 STATION, HYBRID MODULAR OUTDOOR CONTROLLER. FOR RESIDENTIAL OR LIGHT COMMERCIAL USE. LNK WIFI MODULE AND FLOW SENSOR READY.	1	
		IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21	1,498 L.F.	
		IRRIGATION MAINLINE: PVC SCHEDULE 40	265.0 L.F.	
$2^{i} + + + + + + + + + + + + + + + + + + +$		PIPE SLEEVE: PVC CLASS 200 TYPICAL PIPE SLEEVE FOR IRRIGATION PIPE. PIPE SLEEVE SIZE SHALL ALLOW FOR IRRIGATION PIPING AND THEIR RELATED COUPLINGS TO EASILY SLIDE THROUGH SLEEVING MATERIAL. EXTEND SLEEVES 18 INCHES BEYOND EDGES OF PAVING OR CONSTRUCTION.	188.9 L.F.	
	# • # • #" •	Valve Callout Valve Number Valve Flow Valve Size		
	VALVE SCHEDUL	E		
	NUMBER MODEL 1 RAIN BIRD XC 2 RAIN BIRD PE 3 RAIN BIRD PE 4 RAIN BIRD XC Common Wir	SIZETYPEGPMHEADSZ-150-LCS1-1/2"AREA FOR DRIPLINE14.411,802 L.F.B1-1/2"TURF ROTARY33.44279.7 L.F.B1"TURF ROTARY19.0415Z-150-LCS1-1/2"AREA FOR DRIPLINE17.912,687 L.F.	507.8 361.9	WIRE 202.9 193.1 293.0 287.6 265.0
W W SLEEVE, TYP.				

	Varquis Latimer + Halback, Inc. 34 Cordova Street, Suite A St. Augustine, FL 32084 Ph 904.825.6747 Www.halback.com LA6667110 URAWN MARQUIS LIC. # LA6667110 SEAL DRAWN BY: CS/GC
	NEPTUNE BEACH COMMUNITY CENTER NEPTUNE BEACH, FLORIDA IRRIGATION PLAN AND SCHEDULE
I <u>P</u> in/h in/h in/h	
0' 10' 20' 40' SCALE: 1"=20'	PERMIT+BID SET 02/17/22 30% DD REVIEW 12/23/21 SYM DESCRIPTION DATE SIZE: ANSI D PRIME PROJECT #: ML+H PROJECT #: 21.45.0 DRAWING NO.: L-4.1

IPE	WIRE	DESIGN PSI	PSI	PSI @ POC	PRECIP	
81.1	202.9	40	45.78	59.45	0.61 in/h	
07.8	193.1	40	46.23	59.78	0.58 in/h	
61.9	293.0	45	50.38	64.98	0.36 in/h	
47.3	287.6	40	43.71	58.25	0.53 in/h	
	265.0					

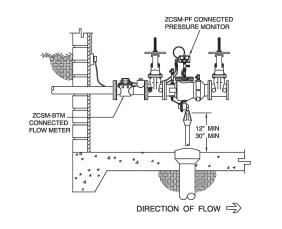
SEE IRRIGATION SCHEDULE ON SHEET L-4.1 FOR SPECS.

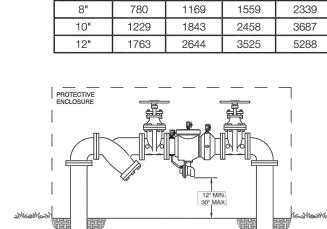
Application		
Designed for installation	on potable water lines to protect	
	hage and backpressure of contami-	
	able water supply. The Model 375 re a potential health hazard exists.	
	I-free* valves are required.	LEAD FREE
Standards Compliance		
• ASSE® Listed 1013 • IAPMO® Listed	ted, Sizes 2 1/2" Thru 10")	
CSA® Certified B64.4	(2 1/2" thru 8")	Options (Suffixes can be combined)
AWWA Compliant C51	11, and C550	 with NRS shut-off valves (standard)
FM® Approved		FSC - with epoxy coated wye type strainer (flanged only)
 UL® Classified C-UL® Classified 		\Box G - with grooved end NRS gate valves
• NYC MEA 49-01-M Vo	bl 2	GF - with grooved inlet connection and flanged
	dation for Cross Connection	outlet connection
	Research at the University of	FG - with flanged inlet connection and grooved outlet connection
Southern California.		L - less shut-off valves (flanged body connections)
	ts of NSF/ANSI/CAN 61* AVERAGE LEAD CONTENT)	OSY - with OS&Y gate valves
		 PI - with Post Indicator gate valve BG - with grooved end butterfly valves with integral
Materials		supervisory switches
Main valve body	Ductile Iron ASTM A 536	
Access covers	Ductile Iron ASTM A 536	*New Connected Products. Search ZCSM-PF on Zurn.com for details.
Coatings Internals	NSF Approved fusion epoxy finish Stainless steel, 300 Series	Accessories
intornalo	NORYL™	Connected Pressure Monitor (Model ZCSM-PF)*
Fasteners	Stainless Steel, 300 Series	Connected Flow Meter Option (Model ZCSM-BTM must
Seal rings	EPDM (FDA approved)	be ordered with Model ZCSM-PF)*
O-rings	Buna Nitrile (FDA approved)	 OS & Y Gate valve tamper switch (OSY-40 Air gap (Model AG)
Springs	Stainless Steel, 300 Series Stainless Steel, braided hose	□ Air gap (Model AG) □ QT-SET Quick Test Fitting Set
Sensing line	Stanness Steel, Draided HOSE	□ Repair kit (rubber only)
Features		□ Thermal expansion tank (Model XT)
Sizes: 2 1/2", 3", 4", 6		Wireless Monitor Retrofit Kit for conversion of existing model 375 (212-6-RFK-375W1, 8-10-RFK-375W1)
Maximum working wate		Relief Valve discharge port:
Maximum working wate Hydrostatic test pressur		2 1/2" - 6" - 2.75 sq. in.
End connections (Groov		8" - 10" - 3.69 sq. in.
(Flanç	ged) ANSI B16.42	
	Class 150	· · · · · · · · · · · · · · · · · · ·
A11 11.		
Attention: Model 375 (flange body) a	nd Model 375A	
(grooved body) have differ		
Dimensions & Weights	s (do not include pkg.)	H MODEL 3750SYG SHOWN ABOVE
375 WITH L	DIMENSION (approximate) B ESS C D OSAY OSAY NRS C D OSAY OSAY OT	E LESS NRS OS&Y WITH F G H SHUT- GATE GATE GATE BUTTERRY
SIZE A BUTTERFLY G VALVES VA	ATE O OPEN CLOSED GATE	BUTTERFLY F G P OFF VALVES
in. mm in. mm in. mm in. 2 1/2 65 31 787 28 711 15 7/2	mm in. mm	
3 80 32 813 28 1/2 724 15 7/	/8 403 7 1/4 184 3 3/4 95 20 1/4 514 17 432 12 3/4 324	324 8 1/2 216 9 1/2 241 8 3/8 213 42 3/4 1086 60 27 184 83 154 70 190 86 142 64 112 51
	1/2 495 8 203 4 1/2 114 22 1/2 572 18 1/4 484 14 1/2 368 1/2 597 10 254 6 152 30 1/2 775 24 1/4 616 18 457	
8 200 60 7/8 1546 53 7/8 1369 37 3/	/4 959 11 279 10 254 37 940 28 1/2 724 21 1/8 537	337 12 305 15 3/8 391 16 3/4 425 85 2159 377 171 829 376 795 361 853 387 805 365 551 250
10 250 63 7/8 1622 57 7/8 1470 37 3/	(4 959 11 279 10 254 45 5/8 1159 34 3/4 883 24 3/4 629	13 330 15 3/8 391 16 3/4 425 93 1/4 2369 407 185 1167 529 1101 499 1225 556 1159 526 795 361
Zurn Industries, LLC Wilki		Rev. M Date: 9/21
In Canada Zurn Industries	obles, CA U.S.A. 93446 Ph. 855-663-9876, Fax Limited	Document No. BF-375
	Brampton, Ontario L6T 5W6, 877-892-5216	Patent No. 5, 913, 331
www.zurn.com	Brampton, Ontano Lor 5000, 077-092-5210	Product No. Model 375

ZURN 375 BACKFLOW SPEC SHEET

02

$\frac{2}{12^{2}} \frac{12^{2}}{12^{2}} \frac{12^{2}}{15} \frac{112}{112} \frac{149}{224} \frac{12}{3^{2}} \frac{115}{173} \frac{115}{173} \frac{115}{173} \frac{120}{200} \frac{10^{2}}{12} \frac{10^{2}}{$		MODEL		' & 4" (STAND OW RATES (I/s)	ARD & MET	RIC)			
FLOW RATES (GPM) MODEL 375 6", 8" & 10" (STANDARD & METRIC) FLOW RATES (Vs) 0.0 63.1 126.2 189.3 252.4 0 63.1 126.2 189.3 252.4 10" (250mm) 0 100 2000 3000 4000 FLOW RATES (GPM) Capacity thru Schedule 40 Pipe (GPM) Pipe size 175 ft/sec 10 ft/sec 15 ft/sec 0 112" (305mm) and a maximum of 30" (762mm) above uate drains with sufficient side clearance for testing and	0,0	12.6		25.2		37.9			50.5
FLOW RATES (GPM) MODEL 375 6", 8" & 10" (STANDARD & METRIC) FLOW RATES (Vs) 0.0 63.1 126.2 189.3 252.4 0 63.1 126.2 189.3 252.4 10" (250mm) 0 100 2000 3000 4000 FLOW RATES (GPM) Capacity thru Schedule 40 Pipe (GPM) Pipe size 175 ft/sec 10 ft/sec 15 ft/sec 0 112" (305mm) and a maximum of 30" (762mm) above uate drains with sufficient side clearance for testing and	5		2 1/2" (65mm)		3" (80mm)				138
FLOW RATES (GPM) MODEL 375 6", 8" & 10" (STANDARD & METRIC) FLOW RATES (Vs) 0.0 63.1 126.2 189.3 252.4 0 63.1 126.2 189.3 252.4 10" (250mm) 0 100 2000 3000 4000 FLOW RATES (GPM) Capacity thru Schedule 40 Pipe (GPM) Pipe size 175 ft/sec 10 ft/sec 15 ft/sec 0 112" (305mm) and a maximum of 30" (762mm) above uate drains with sufficient side clearance for testing and		\sim					-	4" (100m	104 69 35 0
FLOW RATES (GPM) MODEL 375 6", 8" & 10" (STANDARD & METRIC) FLOW RATES (Vs) 0.0 63.1 126.2 189.3 252.4 0 63.1 126.2 189.3 252.4 10" (250mm) 0 100 2000 3000 4000 FLOW RATES (GPM) Capacity thru Schedule 40 Pipe (GPM) Pipe size 175 ft/sec 10 ft/sec 15 ft/sec 0 112" (305mm) and a maximum of 30" (762mm) above uate drains with sufficient side clearance for testing and									35
MODEL 375 6", 8" & 10" (STANDARD & METRIC) FLOW RATES (I/s) 0.0 63.1 126.2 189.3 252.4 10° (250mm) 10° (2	0	200	EI (Y.	600			800
FLOW RATES (GPM) Capacity thru Schedule 40 Pipe (GPM) I codes shall govern installation requirements. Unless wise specified, the assembly shall be mounted at a minior of 12" (305mm) and a maximum of 30" (762mm) above uate drains with sufficient side clearance for testing and Capacity thru Schedule 40 Pipe (GPM) Pipe size 5 ft/sec 7.5 ft/sec 10 ft/sec 15 ft/sec 2 1/2" 75 112 149 224 3" 115 173 230 346							10" (250mm	_	^{252.4}
FLOW RATES (GPM) Capacity thru Schedule 40 Pipe (GPM) I codes shall govern installation requirements. Unless wise specified, the assembly shall be mounted at a minior of 12" (305mm) and a maximum of 30" (762mm) above uate drains with sufficient side clearance for testing and Capacity thru Schedule 40 Pipe (GPM) Pipe size 5 ft/sec 7.5 ft/sec 10 ft/sec 15 ft/sec 2 1/2" 75 112 149 224 3" 115 173 230 346	~	6" ((150mm)	_8" (200mm)				0	104
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Colspan="5">Colspan="5">Colspan="5">Colspan="5">Colspan="5">Colspan="5">Colspan="5">Colspan="5">Colspan="5"Colspan=				2000	s —	3000)	104 69 35 0
wise specified, the assembly shall be mounted at a mini- of 12" (305mm) and a maximum of 30" (762mm) above uate drains with sufficient side clearance for testing andPipe size5 ft/sec7.5 ft/sec10 ft/sec15 ft/sec2 1/2"751121492243"115173230346	▲			2000	;	3000)	104 69 35 0
of 12" (305mm) and a maximum of 30" (762mm) above uate drains with sufficient side clearance for testing and 2 1/2" 75 112 149 224 3" 115 173 230 340	cal Installation	1000	FLC	2000 DW RATES (GPM					104 69 35 0 4000
	cal Installation I codes shall go	1000	FLC rements. Unles	2000 DW RATES (GPM	Ca	pacity thru	I Schedule 4	10 Pipe (GP	104 69 35 0 4000
	cal Installation I codes shall go wise specified,	1000 by the assembly shall be	FLC rements. Unles	2000 DW RATES (GPM S mini-	Ca Pipe size	pacity thru 5 ft/sec	Schedule 4 7.5 ft/sec	10 Pipe (GP 10 ft/sec	104 69 35 0 4000
nit can be submarged	cal Installation I codes shall go rwise specified, I of 12" (305mm Juate drains with	1000 Divern installation require the assembly shall be and a maximum of 3 h sufficient side clearant	FLC rements. Unles mounted at a 0" (762mm) ab nce for testing	2000 DW RATES (GPM DS mini- bove and	Ca Pipe size 2 1/2" 3"	pacity thru 5 ft/sec 75	Schedule 4 7.5 ft/sec 112	0 Pipe (GP 10 ft/sec 149	104 69 35 0 4000 M) 15 ft/sec
	al Installation codes shall go vise specified, of 12" (305mm late drains with	1000 1000 by ern installation require the assembly shall be and a maximum of 3 h sufficient side clearant h	FLC rements. Unles mounted at a 0" (762mm) ab nce for testing	2000 DW RATES (GPM DS mini- bove and	Ca Pipe size 2 1/2"	pacity thru 5 ft/sec 75	Schedule 4 7.5 ft/sec 112	0 Pipe (GP 10 ft/sec 149	69 36 0 4000 M) 15 ft/s 224







OUTDOOR INSTALLATION

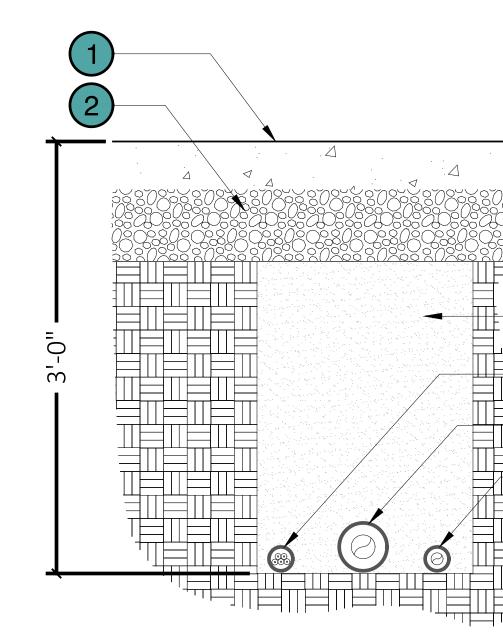
Specifications

The Reduced Pressure Principle Backflow Prevention Assembly shall be certified to NSF/ANSI/CAN 61, ASSE® Listed 1013, and supplied with full port gate valves. The main body and access cover shall be epoxy coated ductile iron (ASTM A 536), the seat ring and check valve shall be NORYL[™], the stem shall be stainless steel (ASTM A 276) and the seat disc elastomers shall be EPDM. The checks and the relief valve shall be accessible for maintenance without removing the device from the line. The Reduced Pressure Principle Backflow Prevention Assembly shall be a ZURN WILKINS Model 375.

Zurn Industries, LLC | Wilkins 1747 Commerce Way, Paso Robles, CA U.S.A. 93446 Ph. 855-663-9876, Fax 805-238-5766

In Canada | Zurn Industries Limited 7900 Goreway Drive, Unit 10, Brampton, Ontario L6T 5W6, 877-892-5216

www.zurn.com



NOTES:

4

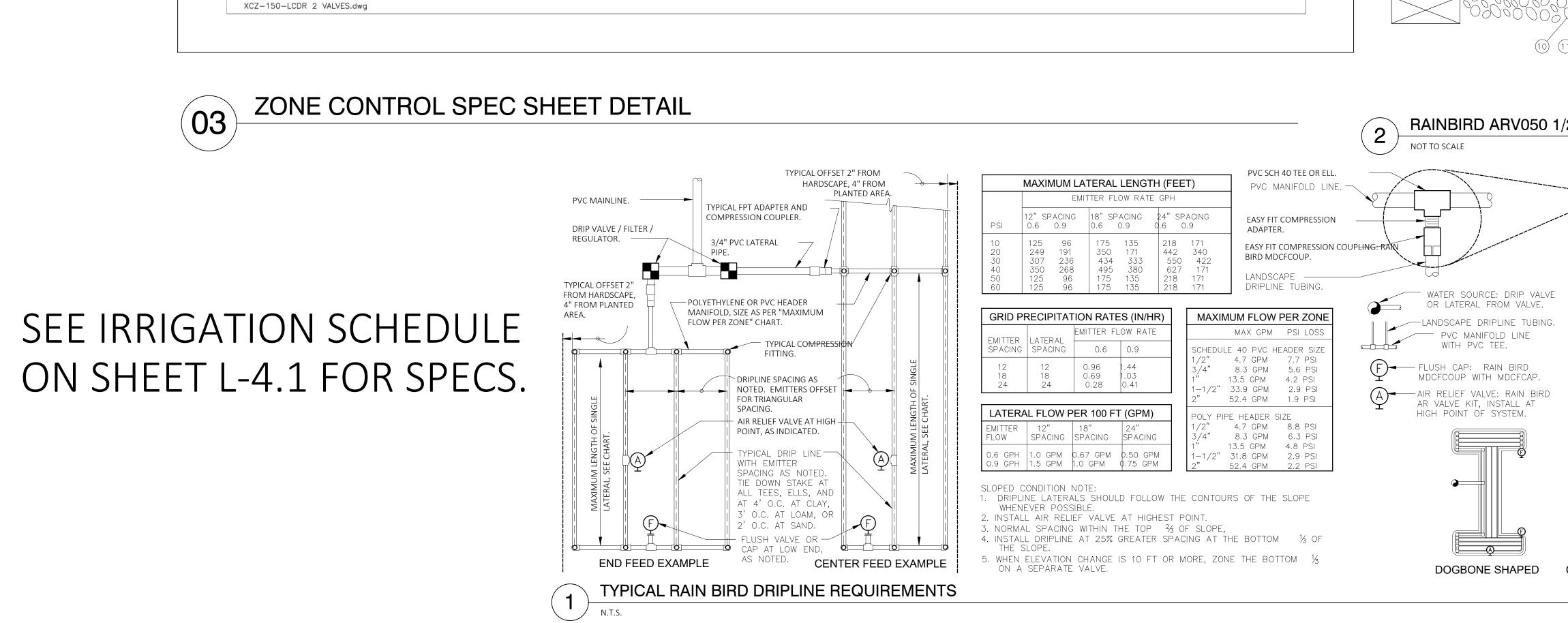
- 1. SEE IRRIGATION LEGEND FOR MAINLINE SIZE AND TYPE.
- 2. ALL SLEEVES SHALL BE SCH. 40 PVC PIPE.
- 3. ALL SLEEVES SHALL EXTEND 12" BEYOND THE EDGE OF PA
- 4. END OF SLEEVES SHALL BE LOCATED WITH A WOODEN ST LOCATORS SHALL RUN CONTINUOUSLY FROM THE END O FINISHED GRADE.

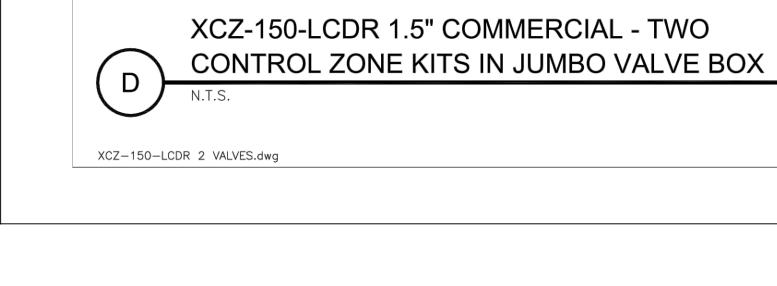
PIPE BENEATH PAVEMEN 1" = 1'-0"

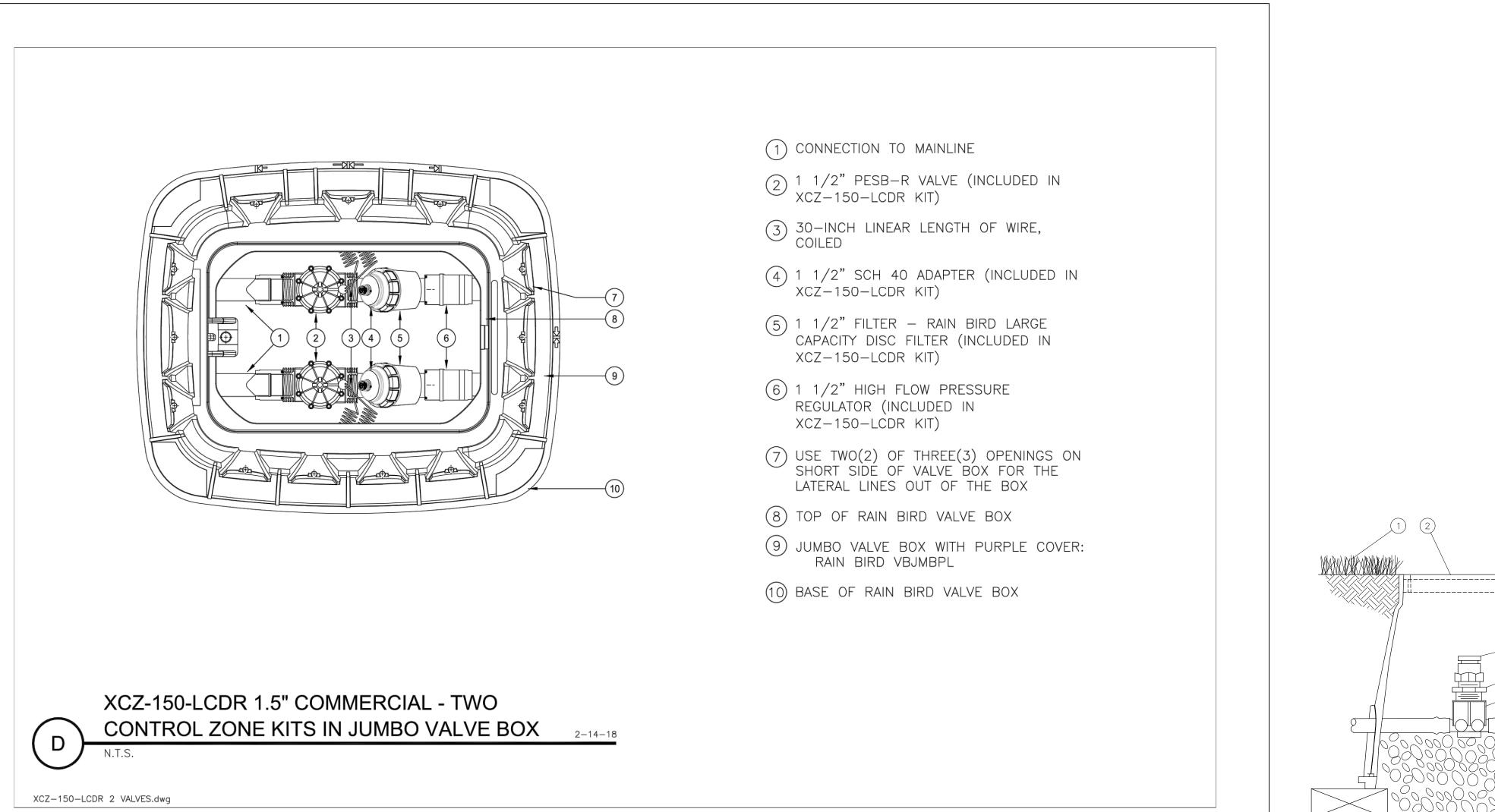
DIRECTION OF FLOW

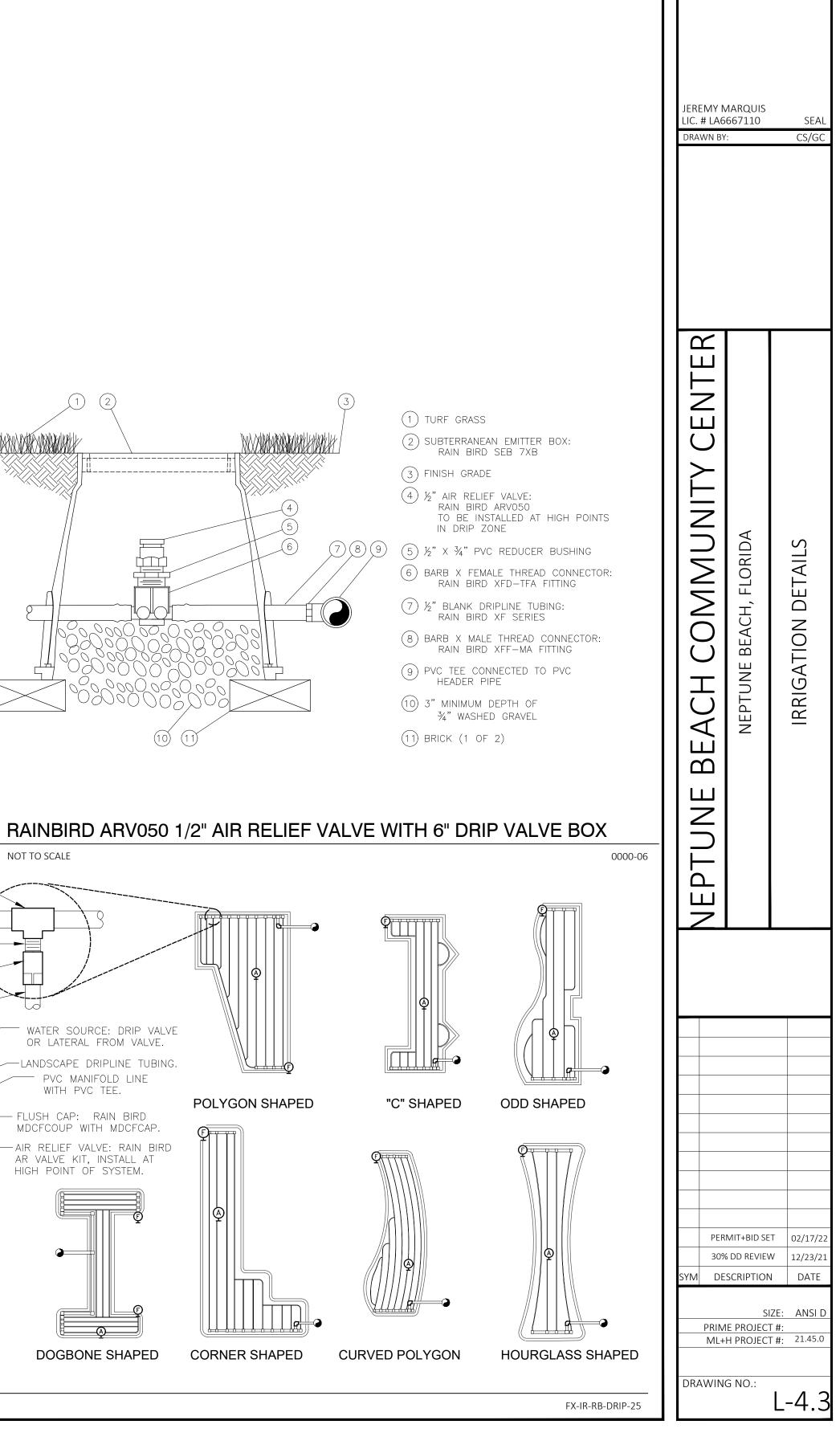
Page 2 of 2

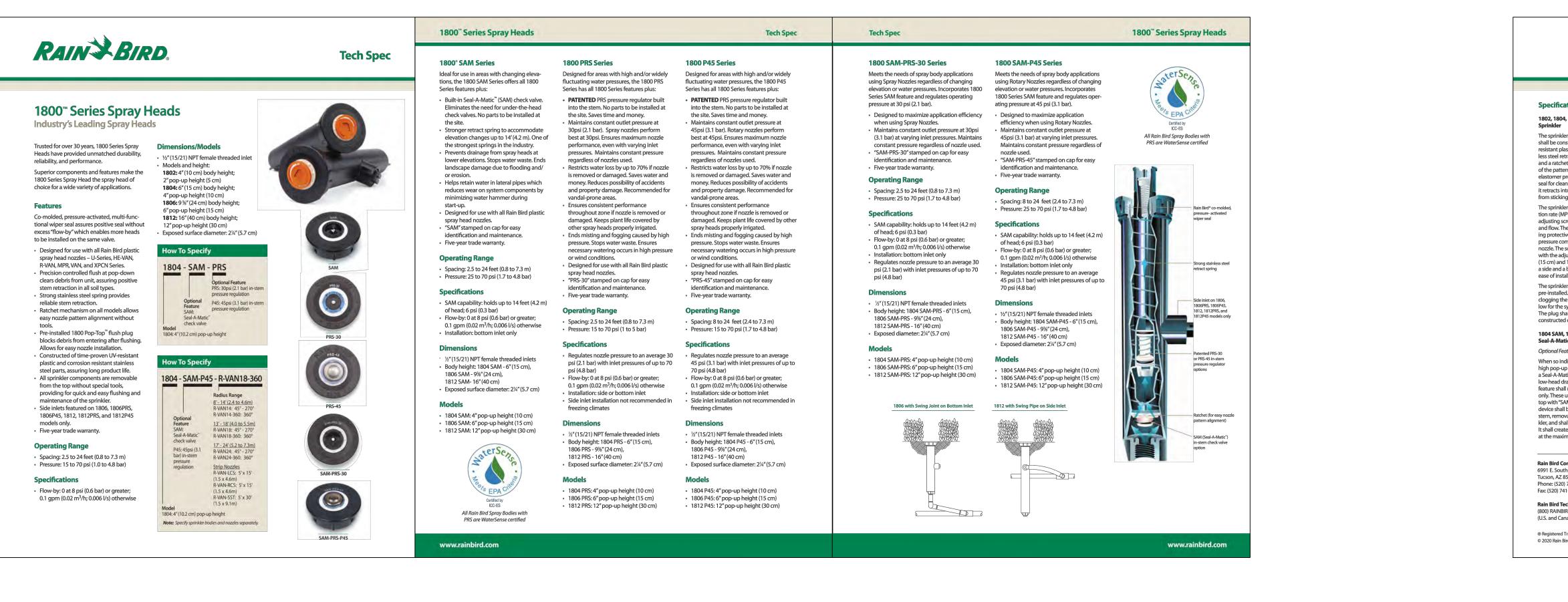
		34 Co St. A	Latimer + H rdova Stree Jugustine, F 5.6747 ww D Qualifier O Qualifier	
	 PAVEMENT PAVEMENT BASE ROCK CLEAN BACKFILL, 95% RELATIVE COMPACTION UNDER PAVING OR PER CIVIL ENGINEER'S PLANS CONTROL WIRES, SLEEVE UNDER PAVING. INSTALL ADJACENT TO PRESSURIZED MAINLINE. BUNDLE SHALL BE NO MORE THAN 50% OF PIPE DIAMETER 	NEPTUNE BEACH COMMUNITY CENTER	NEPTUNE BEACH, FLORIDA	IRRIGATION DETAILS
	 MAINLINE, SLEEVE UNDER PAVING TO BE TWO TIMES THE DIAMETER OF THE PRESSURIZED MAINLINE PIPE NON-PRESSURIZED LINE, SLEEVE UNDER PAVING TO BE BE TWO TIMES THE DIAMETER OF THE 			
PAVEMENT. TAKE OR PVC PIPE. OF THE SLEEVE TO	LATERAL LINE	309 SYM DE	MIT+BID SE 6 DD REVIEV SCRIPTION SI IE PROJEC	N 12/23/21 N DATE IZE: ANSI D
Т		ML+	H PROJEC	
	FX-IR-FX-AUXEQ-05	DRAWIN	g NO.:	L-4.2







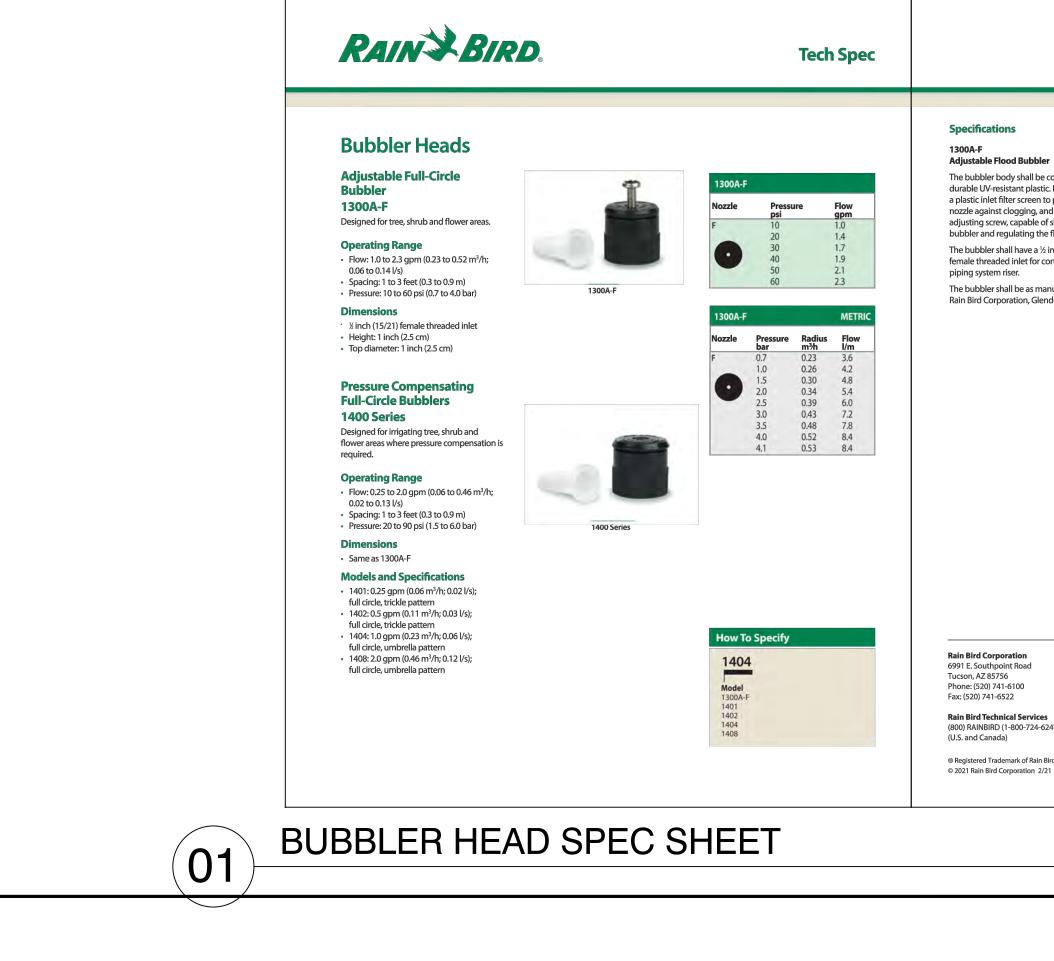






SEE IRRIGATION SCHEDULE ON SHEET L-4.1 FOR SPECS.

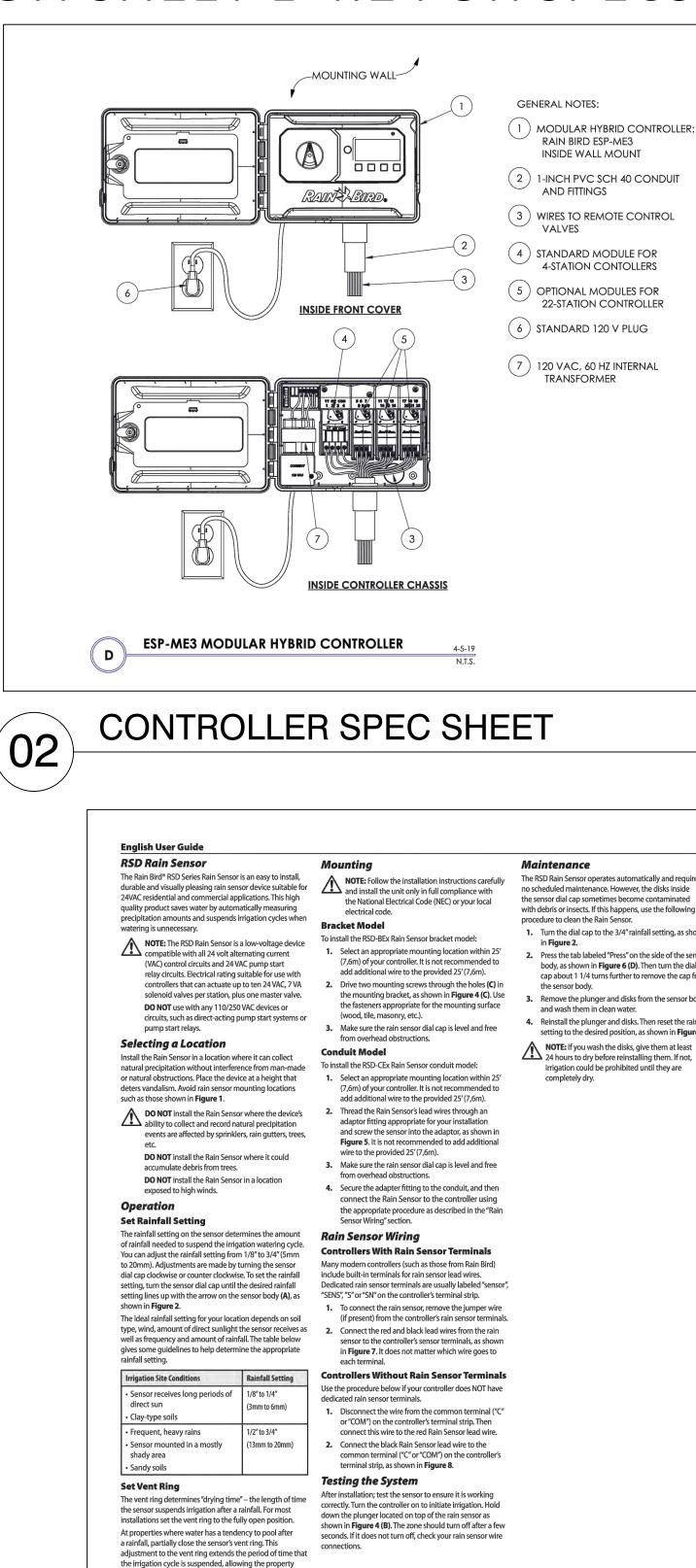




			R		₽ D ®	34 Co St. A	Latimer + H ordova Stree Augustine, Fl 5.6747 ww	t, Suite A
A 1806 and 1812 P 4, 1806 and 1812 P ler body, stem, nozzl nstructed of heavy- clastic. It shall have a etract spring for posi teting system for eas ern. The sprinkler shi pressure-activated c aning debris from th nto the case to preve mg up to minimize" file shall have a matc APR) plastic or brass crew capable of reg he sprinkler shall be excreen shall be used jlusting screw for reg d 12" (30 cm) model: excreen shall be used jlusting screw for reg d 12" (30 cm) model: excreen shall be used jlusting screw for reg d 12" (30 cm) model: excreen shall be used jlusting screw for reg d 12" (30 cm) model: expression for the sprinkler during i expression to be flushe hall be bright orange d of polypropylene i 1, 1806 SAM and 18 stic" Pop-up Spray 5 exture Specifications:	e and screen Juty, ultra-violet heavy-duty stain- tive pop-down y alignment all have a soft o-molded wiper e pop-up stem as ant the sprinkler low-by." hed precipita- nozzle with an ulating the radius capable of hous- ter screens or (PCS) under the d in conjunction gulating. The 6" sishall have both (FNPT) inlet for Top" Flush Plug event debris from stallation and al- d before nozzling. E in color and material. 12 SAM Circle Sprinkler	 1804 PRS, 1806 PRS and 1812 PR Regulating Pop-up Spray Sprinkl Optional Feature Specifications: When so indicated on the design, thigh pop-up spray sprinkler shall a a pressure regulating (PRS) device thigh pressure fogging to the nozzle regulating device shall be an integr pop-up stem, removable through t case. These units shall be identifiab top with "PRS-30" markings on the et as pressure for an et al. The device shall regulate the nozzle 30 psi for inlet pressures from 35 to 35 psi the pressure loss shall not exe 1804 P45, 1806 P45 and 1812 P4 Regulating Pop-up Spray Sprinkl Optional Feature Specifications: When so indicated on the design, thigh pop-up spray sprinkler shall al a pressure regulating (PRS) device thigh pressure fogging to the nozzle regulating device shall be an integr pop-up stem, removable through t case. These units shall be identifiab top with "PRS-45" markings on the et as the sum of the pressure strand strange on the et as the sum of the pressure strange on the et as the sum of the pressure strange on the et as the pressure loss shall not exe the device shall regulate the nozzle as the pressure loss shall not exe 	ler he 4", 6" or 12" lso include to prevent e stream. This ral part of the the top of the le from the cap. e pressure to 70 psi. Below cceed 6 psi. Iso include to prevent e stream. This ral part of the the top of the le from the cap. e pressure to 70 psi. Below	 1804 SAM-PRS, 1806 SAM-PRS and 1812 SAM-PRS Seal-A-Matic Pressum lating Pop-up Spray Sprinkler Optional Feature Specifications: When so indicated on the design, the 4 high pop-up spray sprinkler shall also in Seal-A-Matic (SAM) check valve and a pregulating (PRS) device. These units she identifiable from the top with "SAM-PR markings on the cap. The check valve shall prevent low-head of up to 14 feet of head. The pressure for ing device shall prevent high pressure for 70 psi. Below 35 psi the pressure stors she exceed 6 psi. These models shall utilize tom inlet only. 1804 SAM-P45, 1806 SAM-P45, and SAM-P45 Seal-A-Matic Pressure Regip Pop-up Spray Sprinkler Optional Feature Specifications: When so indicated on the design, the 4 12" high pop-up spray sprinkler shall al clude a Seal-A-Matic (SAM) check valve psi pressure regulating (P45) device. The shall be identifiable from the top with " PRS-45" markings on the cap. The check valve shall prevent low-head of up to 14 feet of head. The pressure rist undesirable performance of the nozzle by regulating the nozzle pressure to 45 inlet pressures from 50 to 70 psi. Below 	 k", 6" or 12" nclude a pressure all be S-30" d drainage egulat- fogging nozzle om 35 to nall not the bot- 1812 ulating k", 6", or so in- e and a 45 uese units 'SAM- d drainage egulating ting and e stream p is for 	JEREMY N LIC. # LA6 DRAWN BY	667110	SEAL CS/GC
All require the use of is units shall be identif AM" marking on the II be an integral part ivable through the t hall seal against the b inum rated flow. Corporation thpoint Road 85756 0) 741-6100 41-6522 echnical Services BIRD (1-800-724-6247 anada) Trademark of Rain Bird Bird Corporation 10/20 DPU DOU DOU DOU DOU DOU DOU DOU DO	hable from the cap. The sealing of the pop-up op of the sprin- bottom case inlet. si pressure drop) Corporation Hubble sha (1401, 1402, 14 Pressure Comp The bubbler sha (1401 & 1402 m tern (1404 & 14 The bubbler ass	R		Rain Bird International, Inc. 1000 West Sierra Madre Ave. Azusa, CA 91702 Phone: (626) 963-9311 Fax: (626) 852-7343 SPECC SI SPECCS	·	PTUNE BEACH COMMUNITY CENTER	NEPTUNE BEACH, FLORIDA	IRRIGATION DETAILS
l a stainless steel shutting off the flow.	clogging.							

L-4.

SEE IRRIGATION SCHEDULE ON SHEET L-4.1 FOR SPECS.



time to drain To set the drying time, turn the vent ring below the sensor dial cap to the desired position, as shown in Figure 3.

03

RAIN SENSOR SPEC SHEET

CHOOSING CONTROLLER FEATURES

TURN ON ONE OF THE FOLLOWING LAYERS

SELECTING THE MODEL

OPTION-4-STATION

OPTION-7-STATION

OPTION-10-STATION

OPTION-13-STATION

OPTION-16-STATION

OPTION-19-STATION

OPTION-22-STATION

TO SELECT THE DESIRED MODEL

TO TURN OFF THIS INSTRUCITON BOX,

TURN OFF LAYER "INSTRUCTION-OPTION".



ESP-ME3 Modular Controller

ESP-ME3 Series Controllers

America's favorite modular controlle the ESP-Modular is now WiFi and flow sensor compatible with new design and an enhanced feature set to provide contractors with the industry's most flexible irrigation controller solution. The ESP-ME3 Controller supports up to 22 stations, 4 programs and 6 start times.

Applications The ESP-ME3 WiFi Compatible Controller

provides flexible scheduling features that make the controller ideal for all your irrigation controller needs. Easy to Use

The ESP-ME3 WiFi Compatible Controller was designed with ease of use in mind. The controller boasts the industry's larges

mounts with as few as two mounting screws. A guide for 1/2" or 3/4" conduit fittings allows for professional installation of field wires into the cabinet. For larger field wire needs, remove the knockout for a 1" diameter opening.

- **Controller Features**
- user interface
- capability
- Master valve/pump start circuit
- Remotely Programmable under 9V battery power (not included)

Scheduling Features Program based scheduling allows 4

- individual programs with 6 independent start times per program for 24 total start Watering schedule options: By days of week, ODD calendar days, EVEN calenda days, or Cyclic (every 1 – 30 days)
- Advanced Features
- Advanced diagnostics and short detection with LED alert
- Contractor Default[™] Program Save Restore saved program(s)
- Rain Sensor bypass by Station One Touch manual watering
- Delay Watering up to 14 days (applies) only to stations not set to ignore Rain Sensor)
- Manual Watering option by program or
- Seasonal Adjust applied to all program or individual program Adjustable delay between valves
- (default set to 0) Master Valve on/off by station

Operating Specifications

- Station timing: 1 minute to 6 hours Seasonal Adjust: 5% to 200%
- Max operating temperature: 149°F (65°C)
- **Electrical Specifications** Input required: 120VAC ± 10%, 60Hz
- (International models 230VAC ± 10%, 50/60Hz)
- Output: 25.5VAC 1A Master Valve/Pump Start Relay Operating Voltage: 24VAC 50/60Hz Max Coil Inrush: 11VA
- Max Coil Holding: 5VA Idle/Off power draw 0.06 amps at 120VAC
- Power back-up not required. Nonvolatile memory permanently saves the current programming and a 10 year life lithium battery maintains the controllers time and date during power outages.



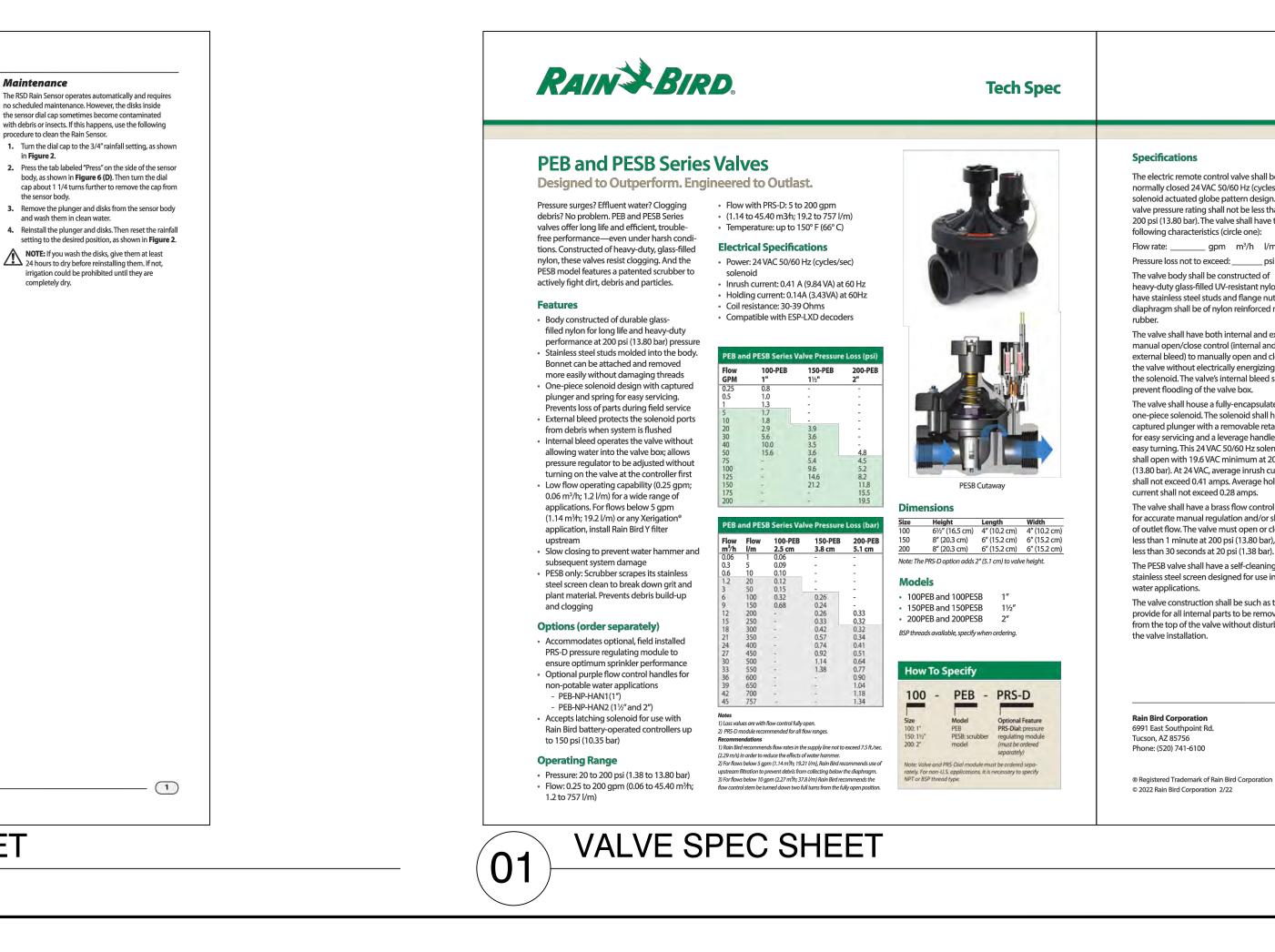
Width: 10.7 in. (27,2 cm) Height: 7.7 in. (19,5 cm) Depth: 4.4 in. (11,2 cm)

How to specify your model:						
ESP-ME3 Will Controller 120V 4 station bi	i Compatible					
Indoor/Outdoor	ESP4ME3					
230V (available i	n outdoor models only)					
ESP4ME3EUR	230V markets except Australia					
ESP4ME3AUS	230V Australia					
Expansion Modu	les for all models					
ESPSM3	3 station expansion module					
ESPSM6	6 station expansion module					

Rain Bird Corporation 6991 East Southpoint Roa Tucson, AZ 85756 Phone: (520) 741-6100 Fax: (520) 741-6522 **Rain Bird Technical Services**

Specifications

indoor installation.



Controller Hardware

- Plastic wall-mount case with door 4 station base module Mounting Screws
- · Wire nuts for outdoor models

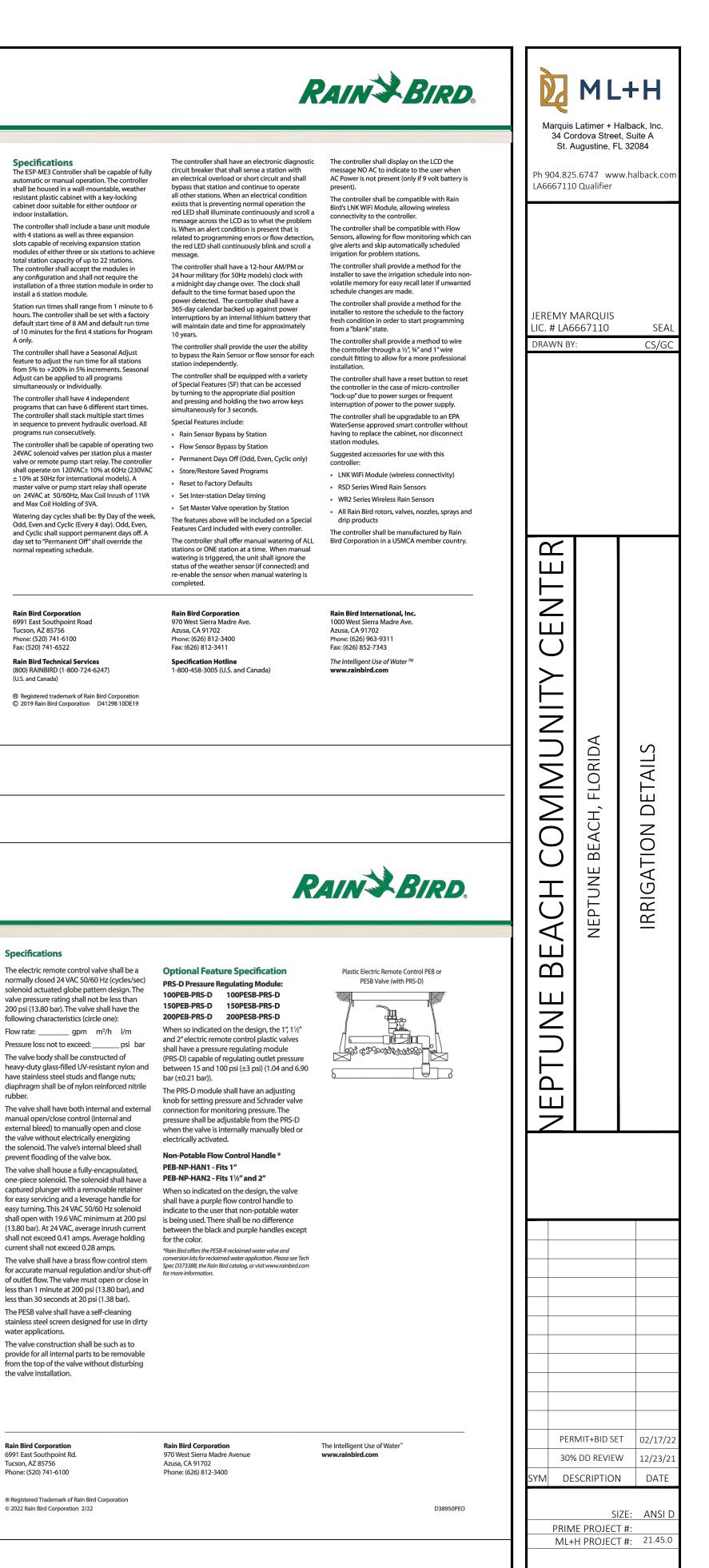
Rain Sensor input with override

- Non-Volatile (100 year) storage memory

- back-lit LCD screen for its class and also incorporates universal icons on both the controller overlay and the LCD. Easy to Install The ESP-ME3 WiFi Compatible Controller

- Large LCD display with easy to navigate

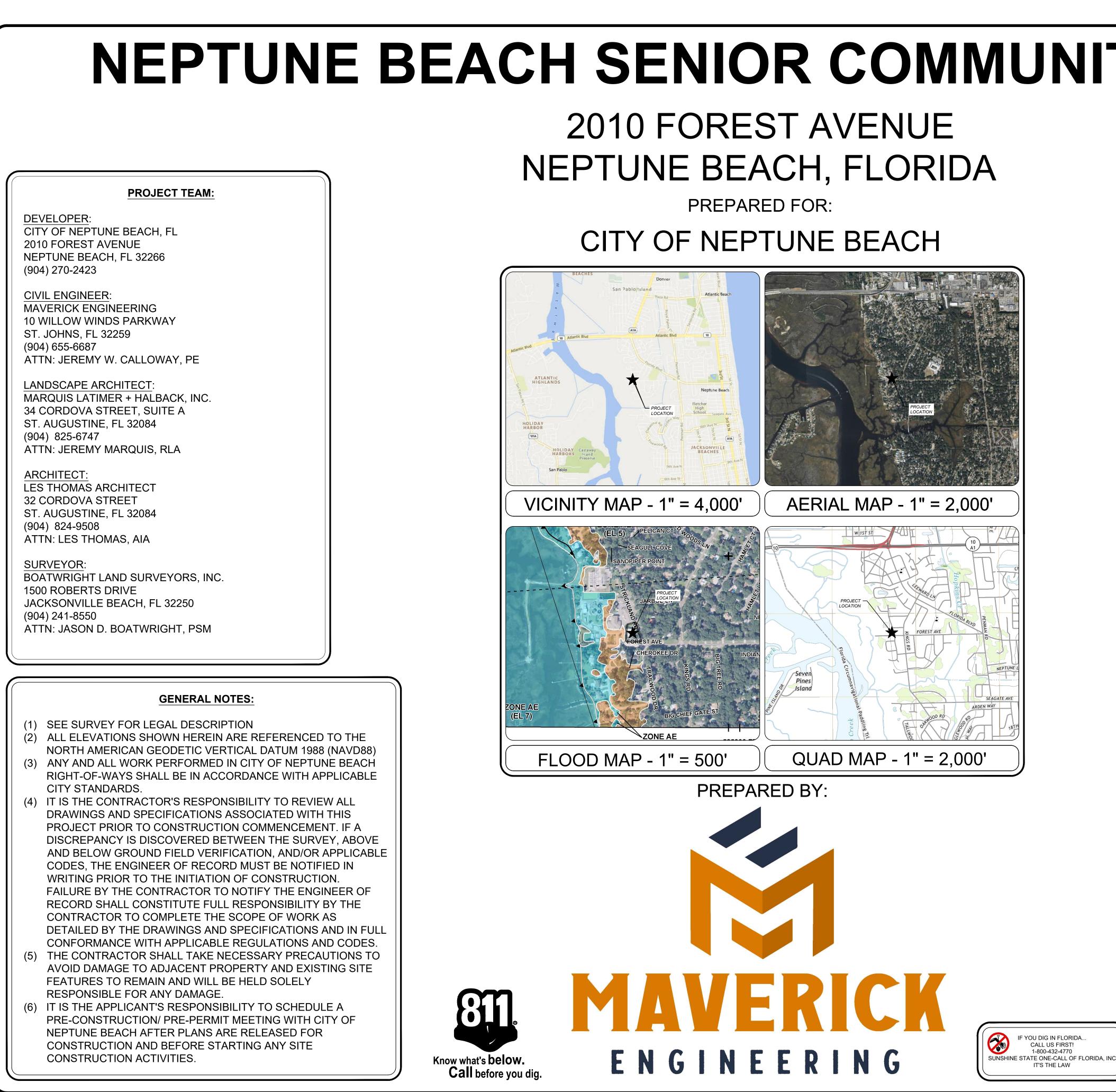
(U.S. and Canada)



Page 101 of 187

-4

DRAWING NO .:



NEPTUNE BEACH SENIOR COMMUNITY CENTER

	DRAWING INDEX	
SHEET NUMBER	SHEET TITLE	
1	COVER SHEET	
2	SIGNATURE SHEET	
3	GENERAL NOTES	
4	SURVEY	
5	DEMOLITION & EROSION CONTROL PLAN	
6	SITE IMPROVEMENTS PLAN	
7	CONSTRUCTION DETAILS	
8	SWPPP DETAILS	
9	CONTRACTOR CERTIFICATION	
L-2.1	HARDSCAPE PLAN	
L-2.2	HARDSCAPE DETAILS AND NOTES	
L-3.1	LANDSCAPE PLAN AND SCHEDULE	
L-3.2	LANDSCAPE NOTES	
L-3.3 - L-4.1	LANDSCAPE DETAILS	
L-4.1	IRRIGATION PLAN AND SCHEDULE	
L-4.2	IRRIGATION DETAILS	
L-5.1	IRRIGATION DETAILS	
L-5.2	IRRIGATION DETAILS	

REGULATORY AGENCIES:

CITY OF NEPTUNE BEACH PUBLIC WORKS DEPARTMENT 2010 FOREST AVENUE NEPTUNE BEACH, FL 32266 (904) 270-2423

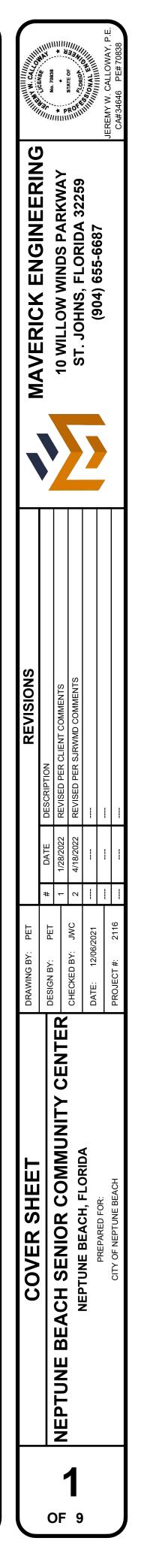
ST. JOHNS RIVER WATER MANAGEMENT DISTRICT: 7775 BAYMEADOWS WAY, SUITE 102 JACKSONVILLE, FL 32256 (904) 424-3410

FLOOD ZONE:

THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE "X" PER FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 12031C0408J, DATED NOVEMBER 2, 2018



IT'S THE LAW



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY JEREMY W. CALLOWAY, P.E. ON THE DATE ADJACENT TO THE SEAL

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ELECTRONIC COPIES.

THE NAMED PROFESSIONAL ENGINEER SHALL BE RESPONSIBLE FOR THE FOLLOWING SHEETS IN ACCORDANCE WITH RULE 61G15-23.004, F.A.C.

DRAWING INDEX				
SHEET NUMBER	SHEET TITLE			
1	COVER SHEET			
2	SIGNATURE SHEET			
3	GENERAL NOTES			
4	SURVEY			
5	DEMOLITION & EROSION CONTROL PLAN			
6	SITE IMPROVEMENTS PLAN			
7	CONSTRUCTION DETAILS			
8	SWPPP DETAILS			

RLA ON THE DATE ADJACENT TO THE SEAL

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ELECTRONIC COPIES.

DRAWING INDEX					
SHEET NUMBER	SHEET TITLE				
L-2.1	HARDSCAPE PLAN				
L-2.2	HARDSCAPE DETAILS AND NOTES				
L-3.1	LANDSCAPE PLAN AND SCHEDULE				
L-3.2	LANDSCAPE NOTES				
L-3.3 - L-4.1	LANDSCAPE DETAILS				
L-4.1	IRRIGATION PLAN AND SCHEDULE				
L-4.2	IRRIGATION DETAILS				
L-5.1	IRRIGATION DETAILS				
L-5.2	IRRIGATION DETAILS				

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY JEREMY MARQUIS,

THE NAMED PROFESSIONAL LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR THE FOLLOWING SHEETS IN ACCORDANCE WITH RULE 61G1-16.005, F.A.C.

Internet Control	JEREMY W. CALINITI							
	MAVERICK ENGINEERING 10 WILLOW WINDS PARKWAY ST. JOHNS, FLORIDA 32259 (904) 655-6687							
REVISIONS	DESCRIPTION	REVISED PER CLIENT COMMENTS	REVISED PER SJRWMD COMMENTS					
	DATE	1/28/2022	4/18/2022					
DRAWING BY: PET	DESIGN BY: PET #	-	CHECKED BY: JWC 2	DATE: 12/06/2021		PROJECT #: 2116		
SIGNATURE SHEET		INEPTUNE BEACH SENIOR COMMUNITY CENTER			PREPARED FOR:	CITY OF NEPTUNE BEACH		
			2					

Page 103 of 187

G	ENERAL NOTES		AREA BE LEFT UNPROTECT
	THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE TO INSURE THAT ALL NEW WORK WILL FIT IN THE MANNER INTENDED ON THE PLANS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO	15.	ALL WASTE GENERATED OI CONTRACTOR.
	THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE LOCAL GOVERNING BODY OF SUCH DIFFERENCES IMMEDIATELY AND PRIOR TO PROCEEDING WITH THE WORK.	16.	LOADED HAUL TRUCKS SHA
2.	THE CONTRACTOR SHALL COMPLY WITH ALL CONDITIONS AS SET FORTH BY THE WATER MANAGEMENT DISTRICT AND FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.		EXCESS DIRT SHALL BE RE
3.	THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION SITE IN A SECURE MANNER. ALL OPEN TRENCHES AND EXCAVATED AREAS SHALL BE PROTECTED FROM ACCESS BY THE GENERAL PUBLIC.		QUALIFIED PERSONNEL SH
4.	ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHOULD NOTIFY THE ENGINEER.	20	BALES, THE LOCATION WHE FINALLY STABILIZED, AT LE 0.5 INCHES OR GREATER. SITES THAT HAVE BEEN FIN
5.	THE CONTRACTOR SHALL INSTALL ALL SEDIMENT AND EROSION CONTROLS PRIOR TO ANY EARTH DISTURBING ACTIVITIES. ALL COMPONENTS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL ALL VEGETATION IS ESTABLISHED, THE ENTIRE PROJECT AREA IS STABILIZED, AND THE OWNER HAS ACCEPTED OPERATION AND MAINTENANCE.		GHT-OF-WAY CONS
6.	ALL DISTURBED AREAS NOT SODDED SHALL BE SEEDED WITH A MIXTURE OF LONG-TERM VEGETATION AND QUICK GROWING SHORT-TERM VEGETATION FOR THE FOLLOWING CONDITIONS. FOR THE MONTHS FROM SEPTEMBER THROUGH		WORK IN THE COUNTY RIGH
	MARCH, THE MIX SHALL CONSIST OF 70 POUNDS PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF WINTER RYE. FOR THE MONTHS OF APRIL THOUGH AUGUST, THE MIX SHALL CONSIST OF 70 PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF MILLET.		CONTRACTOR SHALL NOTIF
7.	THE LOCATION OF THE UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR DURING CONSTRUCTION. CONTRACTOR SHALL PROTECT ALL UTILITIES WITHIN THE	3.	ALL DISTURBED AREAS IN 1
8.	PROJECT AREAS. ALL UTILITY CONSTRUCTION SHALL MEET THE WATER AND WASTEWATER UTILITY STANDARDS OF THE UTILITY SERVICE PROVIDER IN THE PROJECT AREA.		RPM'S SHALL BE INSTALLED
9.	THE CONTRACTOR SHALL WASTE ALL EXCESS EARTH ON SITE AS DIRECTED BY THE ENGINEER.	W	ATER AND SEWER
10.	ALL SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL GOVERNING BODY'S LAND DEVELOPMENT REGULATIONS.	1.	ALL UTILITY CONSTRUCTIO WASTEWATER UTILITY STA
11.	CONTRACTOR SHALL REVIEW AND BECOME FAMILIAR WITH ALL REQUIRED UTILITY CONNECTIONS PRIOR TO BIDDING. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS REQUIRED TO COMPLETE CONNECTION TO THE EXISTING	2.	THE CONTRACTOR SHALL N
	UTILITIES. THIS INCLUDES BUT IS NOT LIMITED TO MANHOLE CORING, WET TAPS, PAVEMENT REPAIRS AND DIRECTIONAL BORING.	3.	ALL NEW OR RELOCATED V
	CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS WITHIN PROJECT AREA.	4.	SMALLER THAN SIX INCHES
13.	CONTRACTOR SHALL PROVIDE ACTUAL INVERT ELEVATIONS ON ALL DRAINAGE STRUCTURES, INCLUDING CULVERTS, PRIOR TO PLACING ANY BASE MATERIAL. DEVIATIONS FROM THE PLANS SHALL BE APPROVED BY THE ENGINEER BEFORE CONTINUING WORK.		HAZARDS WILL BE MINIMIZE COMMERCIAL DISTRICTS A
14.	THIS PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION) AND THE F.D.O.T. DESIGN STANDARDS (CURRENT EDITION), AWWA SPECIFICATIONS, AND THE LOCAL GOVERNING BODY'S DEVELOPMENT STANDARDS UNLESS OTHERWISE NOTED.	5.	IF THERE ARE ANY NEW OR TWO FEET SHALL BE PROV WATER IS GREATER THAN JOINTS FOR THE WATER M
15.	IF UNSUITABLE MATERIAL IS ENCOUNTERED DURING GRADING, CONTRACTOR SHALL REMOVE UNSUITABLE MATERIAL TO A DEPTH OF 24" BELOW FINISHED GRADE WITHIN THE CONSTRUCTION LIMITS AND REPLACE WITH CLEAN COARSE SAND HAVING NO MORE THAN 5% PASSING THE No. 200 SIEVE KVS= 23.4 FT/DAY.	6.	PERMANENT TAPS ON EACH SMALL METER TO DETERMIN PROPER BACKFLOW-PREVE
16.	THE CONTRACTOR SHALL NOTIFY THE LOCAL GOVERNING BODY AT LEAST 48 HOURS IN ADVANCE PRIOR TO BEGINNING OF CONSTRUCTION.		F.A.C., AND THE AWWA'S M/ CONTROL.
17.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION COMMENCEMENT NOTICE AND NOTIFYING THE ENGINEER OF THE CONSTRUCTION SCHEDULE.	7.	THIS PROJECT SHALL NOT THAT HAVE SEPARATE WAT INTERCONNECTION.)
18.	THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCING AND NO TRESPASSING SIGNS FOR THE DURATION OF CONSTRUCTION.	8.	ALL NEW RELOCATED WAT RECLAIMED WATER LINES S
	THE CONTRACTOR IS CAUTIONED TO VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE PROJECT PRIOR TO BIDDING.	9.	CONTRACTOR SHALL PROV POTABLE WATER MAIN EXT
20.	THESE DRAWINGS REPRESENT KNOWN STRUCTURES AND UTILITIES LOCATED IN THE PROJECT AREA. THE CONTRACTOR IS CAUTIONED THAT OTHER STRUCTURES AND UTILITIES, ABOVE OR BELOW GROUND, MAY BE ENCOUNTERED DURING THE COURSE OF THE PROJECT. THE CONTRACTOR SHOULD NOTIFY THE ENGINEER IMMEDIATELY UPON ENCOUNTERING ANY UNEXPECTED STRUCTURE, UTILITY LINE, OR OTHER UNUSUAL CONDITION.		DIMENSIONAL DATA SO THA SUFFICIENT DETAILED DAT. THE PLANS. SUBMIT THE SU
21.	IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF EXISTING UTILITIES AND TO TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION.	10.	COPPER TRACER WIRE SHA CONTINUOUS WITH NO INTE
22.	ADEQUATE PROVISIONS SHALL BE MADE FOR FLOW OF SEWERS, DRAINS, AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.	11.	LOCATOR BALLS SHALL BE SHALL BE SECURED TO TH
23.	THE CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS AND GUARDS DURING CONSTRUCTION WORK UNTIL IT IS SAFE FOR BOTH PEDESTRIAN AND	12.	WATER AND SANITARY SEV ENGINEER'S INSPECTOR.
24.	VEHICULAR TRAFFIC. ALL DEMOLISHED ASPHALT, CONCRETE, PIPE, STRUCTURES AND OTHER DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF IN A LEGAL MANNER.	13.	CONTRACTOR SHALL PROV STAKE SHALL INDICATE EIT AN AS-BUILT SURVEY OF W
25.	MAINTAIN 12" VERTICAL SEPARATION BETWEEN ALL POTABLE WATER MAINS AND SANITARY SEWER GRAVITY AND FORCE	14.	ENGINEER. MEGALUG MECHANICAL JO
26.	MAINS. WHERE WATER MAINS CROSS THE SANITARY SEWER, THE SEWER MAIN SHALL BE ENCASED IN CONCRETE FOR A DISTANCE		USED WITH MANUFACTURE CITY INSPECTOR.
27.	OF 10 FEET BOTH SIDES OF THE WATER MAIN, UNLESS A MINIMUM OF 12" VERTICAL SEPARATION IS MAINTAINED WITH THE WATER ABOVE TO SEWER MAIN. ALL NEW SEWER MAINS SHALL HAVE A MINIMUM COVER OF 36".	15.	FOR SANITARY SEWER PER NOMINAL PIPE SIZE PER MII AWWA C600, SECTION "HYD PERFORM AIR TEST ACCOR
28	ALL EXISTING DRIVES, ROADS, CULVERTS, ETC. THAT ARE DAMAGED DURING CONSTRUCTION ARE TO BE RESTORED TO THEIR ORIGINAL CONDITION.	16.	FOR SANITARY SEWERAGE PROPER ALIGNMENT. INSPE
29.	ALL DISTURBED AREAS ARE TO BE CLEANED, GRADED AND ROLLED TO ORIGINAL CONTOURS, HYDROSEEDED TO DOT SPECIFICATIONS UNLESS SPECIFICALLY NOTED OTHERWISE. CONTRACTOR SHALL MAINTAIN DISTURBED AREAS UNTIL A SATISFACTORY STAND OF GRASS IS ESTABLISHED WITHOUT BARE SECTIONS OR ERODED AREAS.	17	SEWER SYSTEM, WHICH DO EXPENSE TO THE OWNER.
30.	CONTRACTOR SHALL PROVIDE SIGNED AND SEALED AS-BUILTS BY A LICENSED PLS TO THE EOR FOR REVIEW AND APPROVAL.	17.	ALTERED, EXTENDED OR R AUTHORITIES HAVING JURI PROCEDURE DESCRIBED IN
EF	ROSION CONTROL NOTES	18.	PVC GRAVITY FLOW SEWER SPIGOT GASKET JOINT THA
1.	THIS EROSION AND SEDIMENTATION CONTROL PLAN COMPLIES WITH THE REQUIREMENTS OF THE "FLORIDA DEVELOPMENT MANUAL" AND THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL".	19.	ALL PIPE, PIPE FITTINGS, PI INSTALLED UNDER THIS PR STANDARDS.
2.	THE CONTRACTOR SHALL ADHERE TO THE LOCAL GOVERNING BODY, F.D.E.P, AND OTHER GOVERNING AUTHORITIES FOR EROSION AND SEDIMENT CONTROL REGULATIONS. IF THE CONTRACTOR NEEDS TO CHANGE THIS PLAN TO MORE EFFECTIVELY CONTROL EROSION AND SEDIMENTATION, THE CONTRACTOR SHALL USE BMP'S FROM THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL".	20.	ALL PUBLIC WATER SYSTEM AND THAT WILL COME INTO ADOPTED IN RULE 62-555.3
3.	THE CONTRACTOR SHALL ADJUST AND REVISE THIS PLAN TO MEET ACTUAL FIELD CONDITIONS. ANY REVISIONS SHALL BE APPROVED BY THE REVIEWING AGENCIES.	21.	IN PARAGRAPH 62- 555.320(ALL PIPE AND PIPE FITTING SOLDER OR FLUX USED IN
4.	SEDIMENT AND EROSION CONTROL FACILITIES, STORM DRAINAGE FACILITIES AND DETENTION BASINS SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.	22.	ALL WATER PIPE AND PIPE
	EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL AND REPLACED AS NECESSARY.		ACCORDANCE WITH SUBPA PLASTIC PIPE SHALL BE SO BLACK PIPE WITH BLUE STF
	SEDIMENT AND EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION IS COMPLETE AND UNTIL A PERMANENT GROUND COVER HAS BEEN ESTABLISHED.		CONCRETE PIPE SHALL HAV PIPE SHALL HAVE CONTINU GREATER THAN 90-DEGREE
	ALL OPEN DRAINAGE SWALES SHALL BE GRASSED AND RIPRAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION. SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT AND EROSION FROM LEAVING PROJECT LIMITS.		INSTALLATION OF THE PIPE TOP OF THE PIPE; FOR PIPE CONTINUOUS LINES ALONG
9.	CONTRACTOR SHALL PLACE A DOUBLE ROW OF SILT FENCE IN AREAS WHERE RUNOFF FROM DISTURBED AREAS MAY ENTER WETLANDS.	? ?	BE PAINTED BLUE OR WILL SUFFICIENT VALVES SHALL
10.	DURING CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETE, ALL STRUCTURES SHALL BE CLEANED OF ALLDEBRIS		INCONVENIENCE AND SANI
11.	AND EXCESS SEDIMENT. ALL GRADED AREAS SHALL BE STABILIZED IMMEDIATELY WITH A TEMPORARY FAST-GROWING COVER AND/OR MULCH.	24.	ALL FIRE HYDRANTS THAT DRAINS SHALL BE LOCATED FORCE MAIN, PIPELINE CON
12.	A PAD OF RUBBLE RIP RAP SHALL BE PLACED AT THE BOTTOM OF ALL COLLECTION FLUMES AND COLLECTION PIPE OUTLETS. GRANITE OR LIMESTONE RIPRAP IS REQUIRED, NO BROKEN CONCRETE WILL BE ACCEPTED.		VACUUM-TYPE SANITARY S OR VACUUM-TYPE SANITAR CHAPTER 62-10, F.A.C.; AND
13.	ALL SIDE SLOPES STEEPER THAN 3:1 SHALL BE ADEQUATELY PROTECTED FROM EROSION THROUGH THE USE OF HAY BALES OR SODDING.		DISPOSAL SYSTEM."

14. ALL STABILIZATION PRACTICES SHALL BE INITIATED AS SOON AS PRACTICABLE IN AREAS OF THE JOB WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY STOPPED, BUT IN NO CASE SHALL THE DISTURBED

FT UNPROTECTED FOR MORE THAN SEVEN DAYS.

GENERATED ON THE PROJECT SHALL BE DISPOSED OF BY THE CONTRACTOR IN AREAS PROVIDED BY

JL TRUCKS SHALL BE COVERED WITH TARPS.

SHALL BE REMOVED DAILY.

CT SHALL COMPLY WITH ALL WATER QUALITY STANDARDS.

PERSONNEL SHALL INSPECT THE AREA USED FOR STORAGE OF STOCKPILES, THE SILT FENCE AND STRAW LOCATION WHERE VEHICLES ENTER OR EXIT THE SITE, AND THE DISTURBED AREAS THAT HAVE NOT BEEN ABILIZED, AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM OF

HAVE BEEN FINALLY STABILIZED WITH SOD OR GRASSING SHALL BE INSPECTED AT LEAST ONCE EVERY WEEK.

WAY CONSTRUCTION NOTES

E COUNTY RIGHT OF WAY SHALL CONFORM TO THE FOLLOWING:

OR SHALL NOTIFY THE COUNTY PUBLIC WORKS DEPT. 24 HOURS IN ADVANCE OF STARTING PROPOSED WORK.

CE OF TRAFFIC SHALL BE IN ACCORDANCE WITH APPLICABLE FDOT STANDARD INDEXES.

BED AREAS IN THE COUNTY RIGHT OF WAY NOT RESTORED AS PAVEMENT SHALL BE SODDED.

L BE INSTALLED IN ACCORDANCE WITH FDOT STANDARD INDEX 17352.

VENT STRIPING IN COUNTY R.O.W. SHALL BE THERMOPLASTIC.

SEWER NOTES

CONSTRUCTION SHALL MEET THE UTILITY PROVIDER AND LOCAL GOVERNING BODY'S WATER AND ER UTILITY STANDARDS.

ACTOR SHALL MAINTAIN EXISTING WATER MAINS IN SERVICE DURING CONSTRUCTION. IN THE EVENT ONS TO SERVICE ARE REQUIRED DURING CONSTRUCTION, SUCH INSTANCES SHALL BE MINIMIZED.

RELOCATED WATER MAINS THAT SERVE FIRE HYDRANTS AND ALL FIRE HYDRANT LEADS SHALL BE NO HAN SIX INCHES IN DIAMETER. AUXILIARY VALVES SHALL BE PROVIDED ON ALL HYDRANT LEADS.

VALVES SHALL BE PROVIDED IN NEW AND RELOCATED WATER MAINS SO THAT INCONVENIENCE AND SANITARY ILL BE MINIMIZED DURING REPAIRS. (VALVES SHALL BE PLACED IN NO MORE THAN 500-FOOT INTERVALS IN DISTRICTS AND AT NO MORE THAN ONE-BLOCK OR 800-FOOT INTERVALS IN OTHER DISTRICTS.)

E ANY NEW OR RELOCATED WATER MAINS THAT CROSS UNDER ANY SURFACE WATER, A MINIMUM COVER OF HALL BE PROVIDED OVER THE WATER MAIN PIPE AT EACH SURFACE WATER CROSSING. AND IF THE SURFACE REATER THAN 15 FEET IN WIDTH, THE FOLLOWING FEATURES SHALL BE PROVIDED: (A) FLEXIBLE WATER TIGHT THE WATER MAIN PIPE AT THE CROSSING, (B) EASILY ACCESSIBLE VALVES LOCATED IN A MANHOLE, AND (C) TAPS ON EACH SIDE OF THE VALVE WITHIN THE MANHOLE TO ALLOW FOR SAMPLING AND INSERTION OF A ER TO DETERMINE LEAKAGE

CKFLOW-PREVENTION ASSEMBLIES/DEVICES SHALL BE PROVIDED IN ACCORDANCE WITH RULE 62-555.360, THE AWWA'S MANUAL M/4, RECOMMENDED PRACTICE FOR BACKFLOW PREVENTION AND CROSS-CONNECTION

CT SHALL NOT INCLUDE ANY INTERCONNECTION BETWEEN PREVIOUSLY SEPARATE PUBLIC WATER SYSTEMS SEPARATE WATER SUPPLY SOURCES. (A SPECIFIC CONSTRUCTION PERMIT IS REQUIRED FOR SUCH AN

ELOCATED WATER LATERALS THAT CROSS ANY SANITARY SEWERS, STORM SEWERS, FORCE MAINS, OR WATER LINES SHALL CROSS ABOVE SUCH PIPELINES.

DR SHALL PROVIDE AN AS-BUILT SURVEY MEETING THE REQUIREMENTS OF CHAPTER 61G17 F.A.C. FOR THE ATER MAIN EXTENSION AND THE SANITARY SEWER MAIN EXTENSIONS. INCLUDE HORIZONTAL AND VERTICAL DATA SO THAT IMPROVEMENTS ARE LOCATED AND DELINEATED RELATIVE TO THE BOUNDARY. PROVIDE DETAILED DATA TO DETERMINE WHETHER THE IMPROVEMENTS WERE CONSTRUCTED IN ACCORDANCE WITH SUBMIT THE SURVEY TO THE ENGINEER IN DIGITAL AUTOCAD FORMAT.

ACER WIRE SHALL BE PLACED ON ALL POTABLE WATER LINES AND WATER LATERALS. TRACER WIRE SHALL BE S WITH NO INTERRUPTIONS.

LLS SHALL BE PROVIDED AT END OF ALL WATER AND SANITARY SEWER LATERALS. THE LOCATOR BALLS JURED TO THE LATERALS WITH A PLASTIC TIE STRAP

SANITARY SEWER LATERALS SHALL BE LEFT UNCOVERED UNTIL INSPECTED BY THE ENGINEER OR THE

OR SHALL PROVIDE TEMPORARY STAKES (2" BY 2" WOODEN STAKES) AT THE END OF EACH LATERAL. EACH INDICATE EITHER WATER OR SANITARY SEWER LATERAL. CONTRACTOR SHALL MAINTAIN THE STAKES UNTIL T SURVEY OF WATER AND SANITARY SEWER MAINS AND LATERALS ARE COMPLETE AND APPROVED BY THE

ECHANICAL JOINT RESTRAINTS OR SERIES 1390 UNI-FLANGE BLOCK BUSTER RESTRAINT DEVICES SHALL BE MANUFACTURER'S RECOMMENDATIONS. ALL RESTRAINED JOINTING MUST BE LEFT OPEN UNTIL VIEWED BY THE

RY SEWER PERFORM HYDROSTATIC TEST. ALLOWABLE LEAKAGE IS A MAXIMUM OF 50 GAL. PER INCH OF E SIZE PER MILE OF PIPE, DURING A 24-HOUR PERIOD. OPTION: TEST DUCTILE-IRON PIPING ACCORDING TO , SECTION "HYDROSTATIC TESTING". USE TEST PRESSURE OF AT LEAST 10 PSI. FOR SANITARY SEWERAGE, IR TEST ACCORDING TO UNI-B-6.

RY SEWERAGE ALIGNMENT: EACH SECTION OF THE COMPLETED SEWER SYSTEM SHALL BE INSPECTED FOR GNMENT. INSPECTION SHALL CONSIST OF "LAMPING" FROM MANHOLE TO MANHOLE. ANY SECTION OF THE TEM, WHICH DOES NOT DISPLAY TRUE, CONCENTRIC ALIGNMENT, SHALL BE INSTALLED AT NO ADDITIONAL

DISINFECT WATER DISTRIBUTION PIPING SYSTEMS AND PARTS OF EXISTING SYSTEMS THAT HAVE BEEN XTENDED OR REPAIRED BEFORE USE. USE PURGING AND DISINFECTING PROCEDURE PRESCRIBED BY S HAVING JURISDICTION OR USE PROCEDURE PRESCRIBED BY AUTHORITIES HAVING JURISDICTION OR USE E DESCRIBED IN AWWA C651.

FLOW SEWER PIPE AND FITTINGS 15 INCH AND SMALLER IN DIAMETER SHALL BE SDR35 PIPE WITH BELL AND SKET JOINT THAT COMPLIES WITH THE REQUIREMENTS OF ASTM D3034.

PE FITTINGS, PIPE JOINT PACKING AND JOINTING MATERIALS, VALVES, FIRE HYDRANTS, AND METERS UNDER THIS PROJECT SHALL CONFORM TO APPLICABLE AMERICAN WATER WORKS ASSOCIATION (AWWA)

WATER SYSTEM COMPONENTS, EXCLUDING FIRE HYDRANTS, THAT WILL BE INSTALLED UNDER THIS PROJECT VILL COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM TO NSF INTERNATIONAL STANDARD 61 AS I RULE 62-555.335, F.A.C., OR OTHER APPLICABLE STANDARDS, REGULATIONS, OR REQUIREMENTS REFERENCED APH 62- 555.320(3)(B), F.A.C.

PIPE FITTINGS INSTALLED UNDER THIS PROJECT SHALL CONTAIN NO MORE THAN 8.0% LEAD, AND ANY FLUX USED IN THIS PROJECT WILL CONTAIN NO MORE THAN 0.2% LED.

PIPE AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT SHALL BE COLOR CODED OR MARKED IN CE WITH SUBPARAGRAPH 62-555.320(21)(B) 3, F.A.C., USING BLUE AS A PREDOMINANT COLOR. (UNDERGROUND SHALL BE SOLID-WALL BLUE PIPE, WILL HAVE A CO-EXTRUDED BLUE EXTERNAL SKIN, OR WILL BE WHITE OR WITH BLUE STRIPES INCORPORATED INTO, OR APPLIED TO, THE PIPE WALL: AND UNDERGROUND METAL OR PIPE SHALL HAVE BLUE STRIPES APPLIED TO THE PIPE WALL. PIPE STRIPED DURING MANUFACTURING OF THE HAVE CONTINUOUS STRIPES THAT RUN PARALLEL TO THE AXIS OF THE PIPE, THAT ARE LOCATED AT NO HAN 90-DEGREE INTERVALS AROUND THE PIPE, AND THAT WILL REMAIN INTACT DURING AND AFTER ON OF THE PIPE. IF TAPE OR PAINT IS USED TO STRIPE PIPE DURING PIPE AND THAT IS LOCATED ALONG THE EPIPE; FOR PIPE WITH AN INTERNAL DIAMETER OF 24 INCHES OR GREATER, TAPE OR PAINT WILL BE APPLIED IN S LINES ALONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE TOP OF THE PIPE. ABOVEGROUND PIPE SHALL BLUE OR WILL BE COLOR-CODED OR MARKED LIKE UNDERGROUND PIPE.)

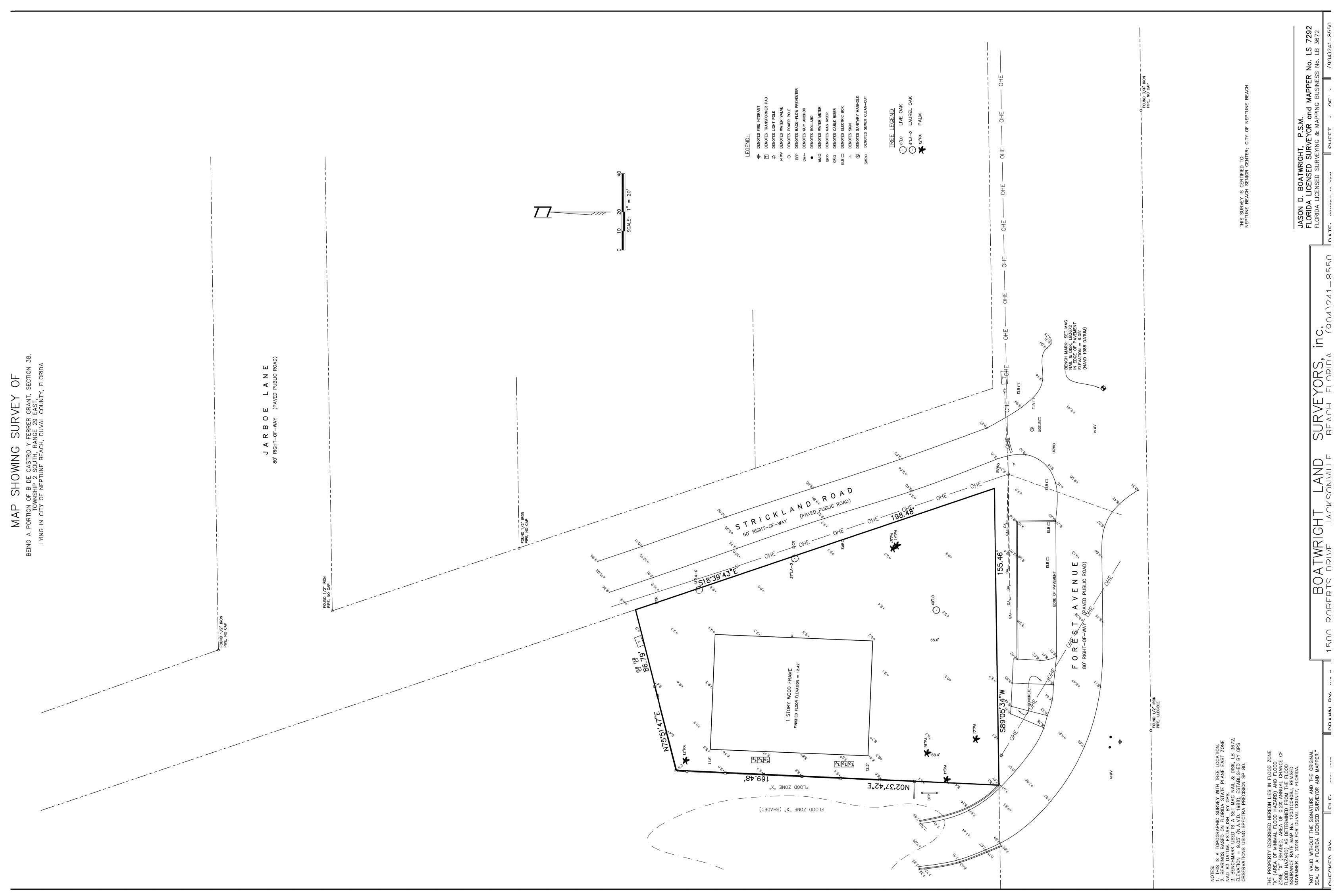
VALVES SHALL BE PROVIDED ON NEW OR ALTERED WATER MAINS INCLUDED IN THIS PROJECT SO THAT ENCE AND SANITARY HAZARDS WILL BE MINIMIZED DURING REPAIRS.

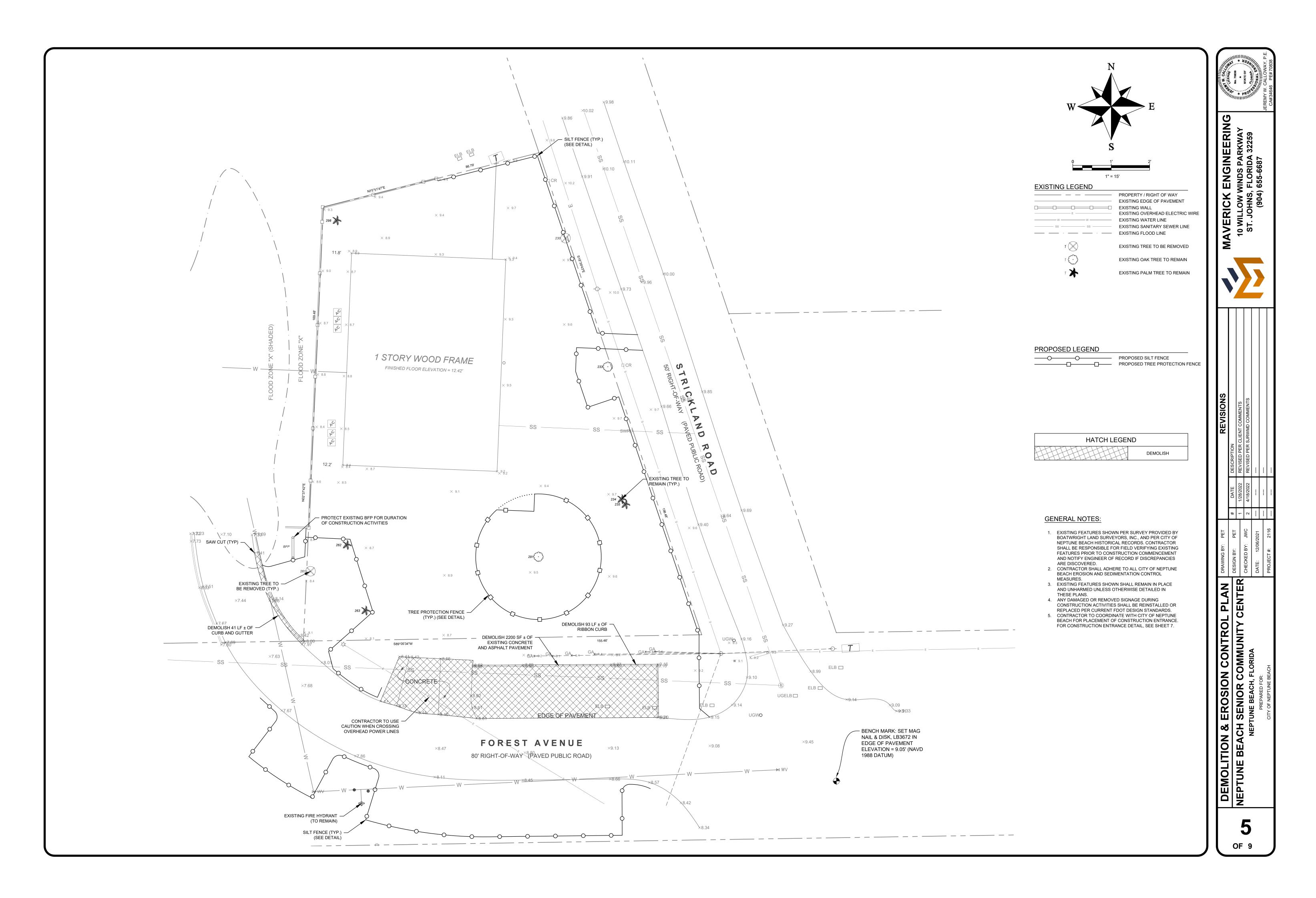
DRANTS THAT WILL BE INSTALLED UNDER THIS PROJECT AND THAT WILL HAVE UNPLUGGED, UNDERGROUND ALL BE LOCATED AT LEAST THREE FEET FROM ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER , PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., OR PE SANITARY SEWER; CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., I-TYPE SANITARY SEWER; OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF 2-10, F.A.C.; AND AT LEAST TEN FEET FROM ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND

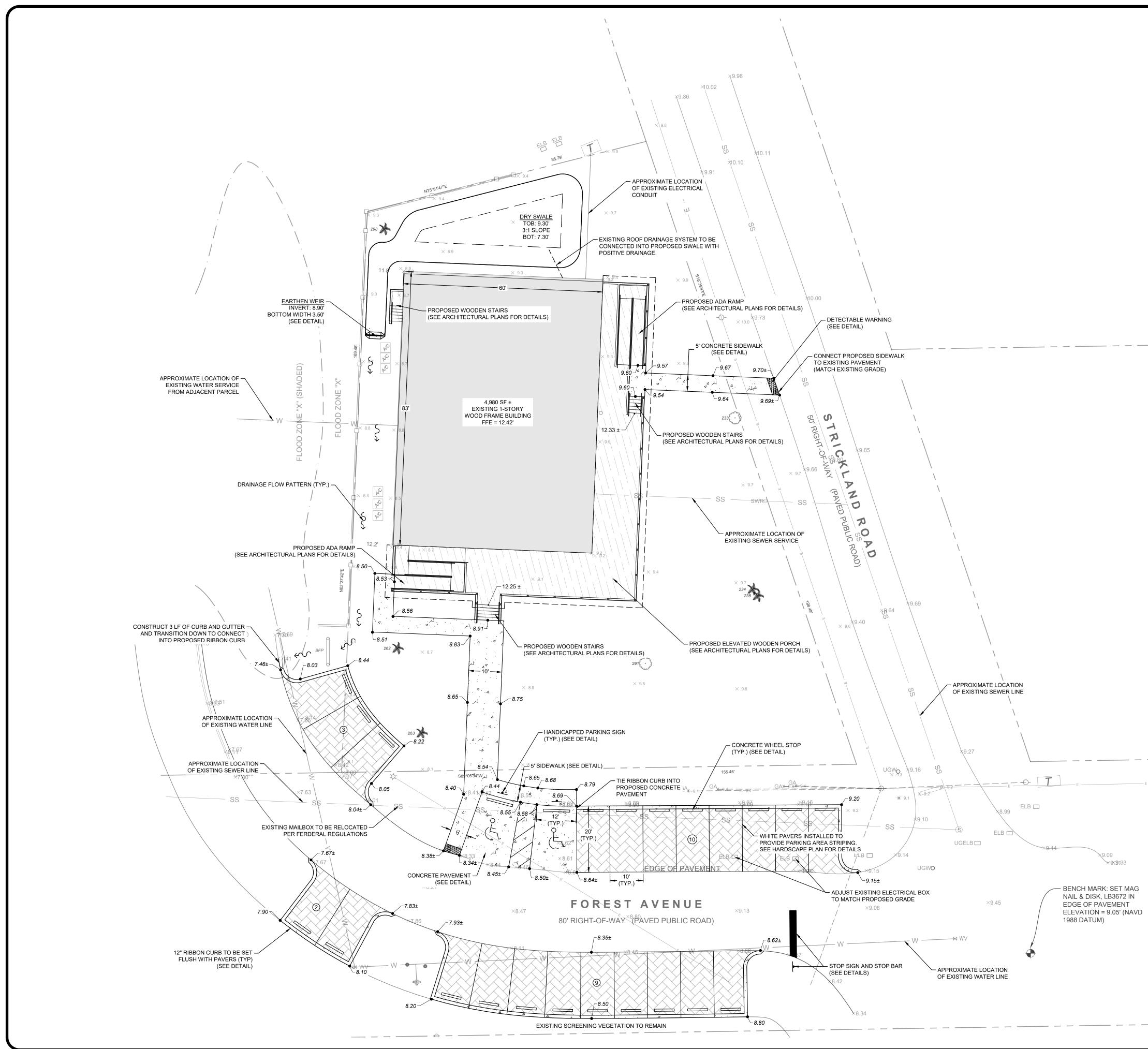
25. NEW OR ALTERED CHAMBERS, PITS, OR MANHOLES THAT CONTAIN VALVES, BLOW-OFFS, METERS, OR OTHER SUCH WATER DISTRIBUTION SYSTEM APPURTENANCES AND THAT ARE INCLUDED IN THIS PROJECT WILL NOT BE CONNECTED DIRECTLY TO ANY SANITARY OR STORM SEWER, AND BLOW-OFFS OR AIR RELIEF VALVES INSTALLED UNDER THIS PROJECT SHALL NOT BE CONNECTED DIRECTLY TO ANY SANITARY OR STORM SEWER.

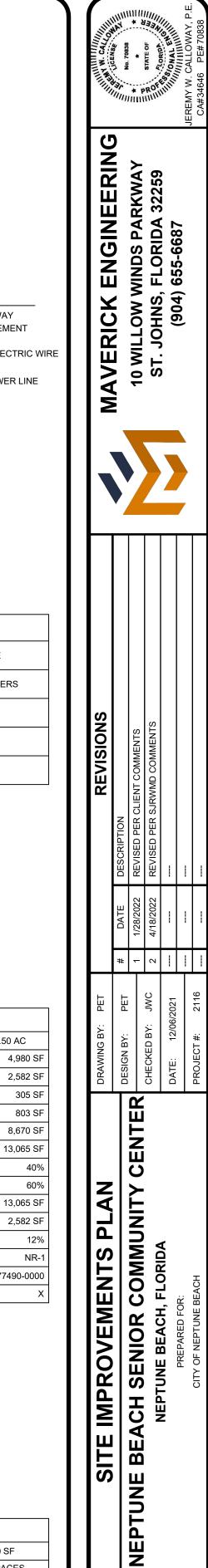
- 26. NEW OR ALTERED WATER MAINS INCLUDED IN THIS PROJECT SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE AWWA STANDARDS OR IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDED PROCEDURES.
- 27. A CONTINUOUS AND UNIFORM BEDDING SHALL BE PROVIDED IN TRENCHES FOR UNDERGROUND PIPE INSTALLED UNDER THIS PROJECT; BACKFILL MATERIAL WILL BE TAMPED IN LAYERS AROUND UNDERGROUND PIPE INSTALLED UNDER THIS PROJECT AND TO A SUFFICIENT HEIGHT ABOVE THE PIPE TO ADEQUATELY SUPPORT AND PROTECT THE PIPE: AND UNSUITABLY SIZED STONES (AS DESCRIBED IN APPLICABLE AWWA STANDARDS OR MANUFACTURERS' RECOMMENDED INSTALLATION PROCEDURES) FOUND IN TRENCHES WILL BE REMOVED FOR A DEPTH OF AT LEAST SIX INCHES BELOW THE BOTTOM OF UNDERGROUND PIPE INSTALLED UNDER THIS PROJECT.
- 28. ALL WATER MAIN TEES, BENDS, PLUGS, AND HYDRANTS INSTALLED UNDER THIS PROJECT SHALL BE PROVIDED WITH RESTRAINED JOINTS TO PREVENT MOVEMENT.
- 29. NEW OR ALTERED WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL BE CONSTRUCTED OF ASBESTOS-CEMENT OR POLYVINYL CHLORIDE PIPE SHALL BE PRESSURE AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA STANDARD C603 OR C605, RESPECTIVELY, AS INCORPORATED INTO RULE 62-555.330, F.A.C., AND ALL OTHER NEW OR ALTERED WATER MAINS INCLUDED IN THIS PROJECT SHALL BE PRESSURE AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA STANDARD C600 AS INCORPORATED INTO RULE 62-555.330.
- 30. NEW OR ALTERED WATER MAINS, INCLUDING FIRE HYDRANT LEADS AND INCLUDING SERVICE LINES THAT WILL BE UNDER THE CONTROL OF A PUBLIC WATER SYSTEM AND THAT HAVE AN INSIDE DIAMETER OF THREE INCHES OR GREATER, SHALL BE DISINFECTED AND BACTERIOLOGICALLY EVALUATED IN ACCORDANCE WITH RULE 62-555.340, F.A.C.
- 31. NEW OR ALTERED WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL BE INSTALLED IN AREAS WHERE THERE ARE KNOWN AGGRESSIVE SOIL CONDITIONS SHALL BE PROTECTED THROUGH USE OF CORROSION-RESISTANT WATER MAIN MATERIALS, THROUGH ENCASEMENT OF THE WATER MAINS IN POLYETHYLENE, OR THROUGH PROVISION OF CATHODIC PROTECTION.
- 32. NEW OR RELOCATED, UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER, STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
- 33. NEW OR RELOCATED, UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT SHALL HAVE A HORIZONTAL DISTANCE OF AT LEAST SIX AND TEN FEET IS PREFERRED BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER, EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610. F.A.C.
- 34. THE HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS MAY BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST TWELVE INCHES ABOVE THE TOP OF THE SEWER.
- 35. A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM."
- 36. NEW OR RELOCATED, UNDERGROUND WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE THE OTHER PIPELINE. NEW OR RELOCATED, UNDERGROUND WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE THE OTHER PIPELINE.
- 37. AT THE UTILITY CROSSINGS DESCRIBED ABOVE, SEPARATION DISTANCE SHALL NOT APPLY WHERE A WATER SERVICE PIPE CROSSES A SEWER PIPE, PROVIDED THE WATER SERVICE PIPE IS SLEEVED TO AT LEAST FIVE FEET HORIZONTALLY FROM THE SEWER PIPE CENTERLINE ON BOTH SIDES OF SUCH CROSSINGS PIPE MATERIAL LISTED IN FLORIDA BUILDING CODE **SECTION 603.2.**
- 38. NEW OR ALTERED WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS ABOVE SURFACE WATER SHALL BE ADEQUATELY SUPPORTED AND ANCHORED, PROTECTED FROM DAMAGE AND FREEZING, AND ACCESSIBLE FOR REPAIR OR REPLACEMENT.
- 39. NEW OR ALTERED WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS UNDER SURFACE WATER COURSES GREATER THAN 15 FEET IN WIDTH SHALL HAVE FLEXIBLE OR RESTRAINED, WATERTIGHT PIPE JOINTS AND WILL INCLUDE VALVES AT BOTH ENDS OF THE WATER CROSSING SO THE UNDERWATER MAIN CAN BE ISOLATED FOR TESTING AND REPAIR; THE AFOREMENTIONED ISOLATION VALVES WILL BE EASILY ACCESSIBLE AND WILL NOT BE SUBJECT TO FLOODING: THE ISOLATION VALVE CLOSEST TO THE WATER SUPPLY SOURCE WILL BE IN A MANHOLE: AND PERMANENT TAPS WILL BE PROVIDED ON EACH SIDE OF THE ISOLATION VALVE WITHIN THE MANHOLE TO ALLOW FOR INSERTION OF A SMALL METER TO DETERMINE LEAKAGE FROM THE UNDERWATER MAIN AND TO ALLOW FOR SAMPLING OF WATER FROM THE UNDERWATER MAIN.
- 40. AIR RELIEF VALVES SHALL BE INSTALLED AT HIGH POINTS IN THE FORCE MAIN AT ANY LOCATIONS HAVING 3' OR GREATER ELEVATION CHANGE WITHIN 100 LF OF LINE.

Inity Center matrix matrix matrix matrix matrix Inity Center 1 1/28/2022 Revised Per cuie CHECKED BY: JWC 2 4/18/2022 Revised Per cuie Date: 12/06/2021 PROJECT #: 2116	SI. JOHNS, FLOKIDA 32259	ST. JOHNS, FLORIDA 32259	10 WILLOW WINDS PARKWAY		
E BEACH SENIOR COMMUNITY CENTER NEPTUNE BEACH, FLORIDA PREPARED FOR: CITY OF NEPTUNE BEACH	12/06/2021 T#: 2116	2 4/18/2022	1 1/28/2022	PET # DATE	DRAWING BY: PET REVISIONS
			E BEACH SENIOR COMMUNITY CENTER		GENERAL NOTES









W	N S	E
0	15'	30'
	1" = 15'	

EXISTING LEGEND

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PROPERTY / RIGHT OF WAY EXISTING EDGE OF PAVEMENT EXISTING WALL
 EXISTING OVERHEAD ELECTRIC WIRE EXISTING WATER LINE EXISTING SANITARY SEWER LINE - EXISTING FLOOD LINE

HATCH LEGEND		
	CONCRETE	
	PERVIOUS PAVERS	
	WOOD	
	BUILDINGS	
	SWALE	

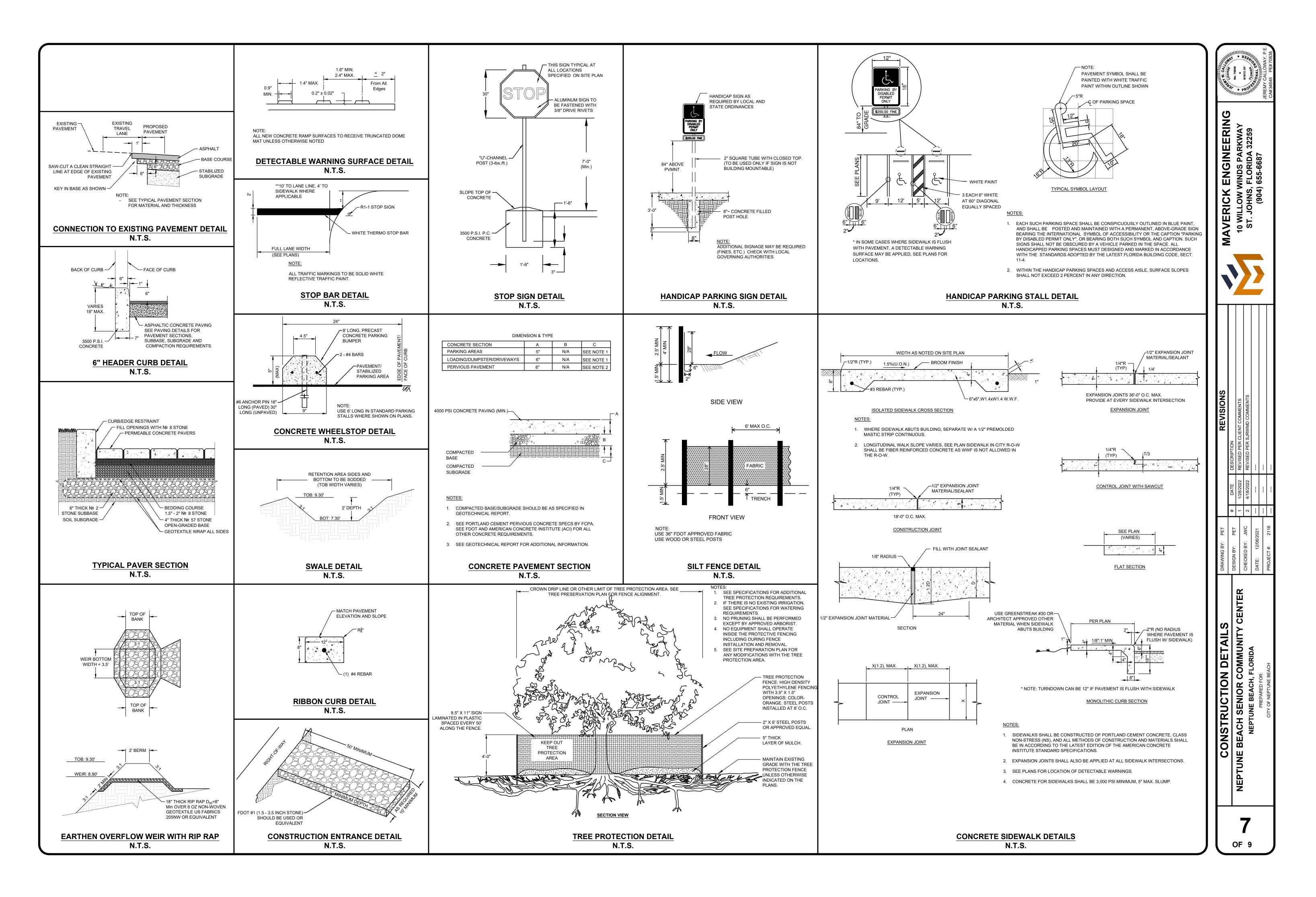
SITE DATA TABLE				
TOTAL PROJECT AREA	21,735 SF	0.50 AC		
EXISTING BUILDING		4,980 SF		
PROPOSED OVERHANG		2,582 SF		
PROPOSED PAVEMENT		305 SF		
PROPOSED CONCRETE		803 SF		
TOTAL IMPERVIOUS AREA		8,670 SF		
TOTAL PERVIOUS AREA		13,065 SF		
TOTAL IMPERVIOUS %		40%		
TOTAL PERVIOUS %		60%		
OPEN SPACE		13,065 SF		
FLOOR AREA		2,582 SF		
FLOOR AREA RATIO (FAR)		12%		
ZONING		NR-1		
PARCEL NUMBER(S)		177490-0000		
FLOOD ZONE		х		

9.0	9	
\searrow	9 .9	913

PARKING CALCULATIONS					
GROSS FLOOR AREA	=	1 SPACE PER	250 SF		
GROSS FLOOR AREA	=	4,980 SF	20 SPACES		
TOTAL REQUIRED	=	20 SPACES			
TOTAL PROVIDED	=	24 SPACES			
ADA REQUIRED	=	1 SPACES			
ADA PROVIDED	=	2 SPACES			

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OF 9



SITE DESCRIPTION GENERAL OPADET MATA AN LOCKIMAN CENTRAL RELATIONS CENTRAL RELATIONS OPADET MATA AN LOCKIMAN CENTRAL RELATIONS CENTRAL RELATIONS CENTRAL RELATIONS SCOPPER TABLE REACH CENTRAL RELATIONS CEN	OWNER'S REQUIREMENTS	
EDIT CTI VARA HAN ICONTON. INFORM DATA HAN ICONTON.		GENERAL
PARAME AND BECOMMUNICATION FOR CASE AND PROVIDED AND PRO	PROJECT NAME AND LOCATION: NEPTUNE BEACH SENIOR COMMUNITY CENTER 2010 FOREST AVENUE NEPTUNE BEACH, FL 32266 <u>OWNER NAME AND ADDRESS:</u> CITY OF NEPTUNE BEACH 116 FIRST STREET NEPTUNE BEACH, FL 32266	THE CONTRACTOR SHALL AT A MINIMUM IMPLEMENT THE CONTRACTOR REQUIREMENTS OUTLINED BELOW AND THOSE MEASURES SHOWN ON AND TURBIDITY CONTROL PLAN. IN ADDITION, THE CONTRACTOR SHALL ADDITIONAL MEASURES REQUIRED TO BE IN COMPLIANCE WITH APPLIC CONDITIONS AND STATE WATER QUALITY STANDARDS. DEPENDING ON OF MATERIALS AND METHODS OF CONSTRUCTION, THE CONTRACTOR M REQUIRED TO ADD FLOCCULANTS TO THE RETENTION SYSTEM PRIOR T
The second s		SEQUENCE OF MAJOR ACTIVITIES:
TOTAL AREA OF BITE = 0.9 ACRE TATE AND DE DISTURDED = ### ACRE AIN INCLATE IN THE SEQUENCE OF MUIDE ACTIVITES, THE SITE AN INDECATED IN THE STADLARD ACTIVITES AN INDECATED IN THE AND ACTIVITES AN INDECATED IN THE AND ACTIVITES AN INDECATED IN THE AND ACTIVITES AN INTERMAND AND AND ACTIVITES AN INDECATED IN THE AND ACTIVITES AN INTERMAND AND AND ACTIVITES AN INTERMAND AND ACTIVITES AN INTERMAND AND AND ACTIVITES AN INTERMAND AND ACTIVITES AN INTERMAND AND ACTIVITES AN INTERMAND AND ACTIVITES AN INTERMAND AND AND ACTIVITES AN INTERMAND AND AND ACTIVITES AN ACTIVITES	TREE CLEARING; EARTHWORK, PAVEMENT AND GRADING, AND PREPARATION FOR FINAL PLANTING AND SEEDING. <u>RUNOFF CURVE NUMBERS:</u> 1. PRE-CONSTRUCTION = ## 2. DURING CONSTRUCTION = ## 3. POST-CONSTRUCTION = ## <u>SOILS:</u> <u>SEE GEOTECHNICAL REPORT FOR SOILS DATA</u> <u>SITE MAPS:</u> * SEE ATTACHED GRADING PLAN FOR PRE & POST DEVELOPMENT GRADES, AREAS OF SOILS, DISTURBANCE, LOCATION OF SURFACE WATERS, WETLANDS, PROTECTED AREAS, MAJOR STRUCTURAL AND NONSTRUCTURAL CONTROLS AND STORM WATER DISCHARGE POINTS. * SEE ATTACHED EROSION & TURBIDITY CONTROL PLAN FOR LOCATION OF TEMPORARY STABILIZATION PRACTICES, AND TURBIDITY BARRIERS * SEE GENERAL NOTES FOR REQUIRMENTS FOR TEMPORARY AND	I.INSTALL STABILIZED CONSTRUCTION ENTRANCE9.INSTALL UTILITIES, STOP CURBS & GUTTER.2.INSTALL SILT FENCES AND HAY BALES AS REQUIRED10. APPLY BASE TO PAVED 11. COMPLETE GRADING AN INSTALL PERMANENT SEEDING/SOD AND PLAN 12. COMPLETE FINAL PAVIN 13. REMOVE ACCUMULATER BASIN4.CONSTRUCT SEDIMENTATION BASIN12. COMPLETE FINAL PAVIN 13. REMOVE ACCUMULATER SEDIMENT FROM BASINS5.CONTINUE CLEARING AND GRUBBING14. WHEN ALL CONSTRUCT ACTIVITY IS COMPLETE A SEDIMENT FROM BASINS6.STOCK PILE TOP SOIL IF REQUIRED ON SITE AS REQUIRED14. WHEN ALL CONSTRUCT ACTIVITY IS COMPLETE A STOCKPILES AS SOON AS
AND CONTROLS AND THE SECONTROLLED TO HERE SECONTROLLED THE SECONTROL THE SECONTROL THE SECONTROL TO SERVICE DE MALOR ACTIVITES, THE SELT F SECONTROLLED TO SECONTROLLED SECONTROLLED SECONTROLCED AND ADDRESS SECONTROL SECONTRO		TIMING OF CONTROLS/MEASURES
ON-SITE COLLECTION SYSTEM DISCHARGING TO ON-SITE CONVEYANCE SWALE FOR THE PROJECT. AREAS WHICH ARE NOT TO BE CONSTRUCTED ON, BUT WILL FOR THE PROJECT. AREAS WHICH ARE NOT TO BE CONSTRUCTED ON, BUT WILL FOR THE PROJECT. AREAS WHICH ARE NOT TO BE CONSTRUCTED ON, BUT WILL FOR THE PROJECT. AREAS SHOWN ON THE EROSION AND TURBIDITY TO INSUENT UNDERN REGARDED SHALL BE STABLIED IMMEDIATELY TO RESURCE TO RESERVE TURBED ARE NOT TO BE CONSTRUCTED ON, BUT WILL WILL BE STABLIZED IMMEDIATELY TO RESURCE TO AN ON-SITE CONTROL SHOW AND TURBIDITY TO INSUENT TO AN ON-SITE CONTROL FLAN AREA SHOWN ON THE EROSION AND TURBIDITY CONTROL AS AND ARAUNT TO RENUE BASINS WILL BE USED TO INTERCEPT SEDMENT BEFORE ENTERING THE ON THE CONTROL FLAN AND ALS AND TURBIDITY CONTROL PLAN AND AD AD ADDITION TO PREVENT TURBID OR CONTROL PLAN AND AD AD ADDITION TO REVENT TURBID OR FORCINCIC LAWAYNEE AND THE FORSION AND TURBIDITY CONTROL PLAN AND AD AD ADDITION TO NITHE EROSION AND TURBIDITY FOR THE THE IMMING OF CONTROL ALS AND ADDITION TO CONTRACTOR'S REQUIREMENTS' FOR THE TIMING OF CONTROL AREAS AND AD ADDITION TO CONTROL FLAN AND AS IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULLATIONS IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULLATIONS IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULLATIONS IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL LAWS RELATED TO STORM WATER MANAGEMENT AND EROSION AND TURBIDITY CONTROLS, THE FOLLOWING UNTROL MARGEMENT AND EROSION AND TURBIDITY CONTROLS, THE FOLLOWING CONTRUBUTED AREAS SUBJECT TO SHEET AND FLAN AD ALL CONTRUCTED IN LUES STEAMING TO ASSUME THAT SUBJECTION OR SUBJECT TO AND SUBJECT TO SHEET AND RULE ROSION WHITH SJAR WHICH ERPERATES AND RELEFT THE CONTRUCTIONS. A WHICH THE MARSING DETAIL AND RULE ROSION WHITH SJAR WHICH CONTRUBED TO ASSUME THAT JULLIES TO HER NOT AND SUBJECT TO AND SUBJECT TO AND SUBJECT TO A RELEFT AND SUBJECT TO AN SUBJECT TO A SUBJECT TO A SUBJECT TO A SUBJECT TO A SUBJECT TO	CONTROLS THIS PLAN UTILIZES BEST MANAGEMENT PRACTICES TO CONTROL EROSION AND TURBIDITY CAUSED BY STORM WATER RUN OFF. AN EROSION AND TURBIDITY PLAN HAS BEEN PREPARED TO INSTRUCT THE CONTRACTOR ON PLACEMENT OF THESE CONTROLS. IT IS THE CONTRACTORS RESPONSIBILITY TO INSTALL AND MAINTAIN THE CONTROLS PER PLAN AS WELL AS ENSURING THE PLAN IS PROVIDING THE PROPER PROTECTION AS REQUIRED BY FEDERAL, STATE AND LOCAL LAWS. REFER TO "CONTRACTORS RESPONSIBILITY" FOR A VERBAL DESCRIPTION OF THE CONTROLS THAT MAY BE IMPLEMENTED. STORM WATER MANAGEMENT	AND HAY BALES, STABILIZED CONSTRUCTION ENTRANCE AND SEDIM BASIN WILL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF OTHER PORTIONS OF THE SITE. STABILIZATION MEASURES SHALL BI INITIATED AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHER CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AREA, THAT AREA WILL BE STABILIZED PERMANENTLY IN ACCORDAL WITH THE PLANS. AFTER THE ENTIRE SITE IS STABILIZED, THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE SEDIMENT AND THE EARTH DIKE/SWALES WILL BE REGRADED/REMOVED AND S IN ACCORDANCE WITH THE EROSION & TURBIDITY CONTROL PLAN.
POR THE PROJECT. AREAS WHICH ARE NOT TO BE CONSTRUCTED ON, BUT WILL BE REGRADED SHALL BE STABLED INMEDIATE AFTER GRADING IS COMPLEX MALL BE STABLED INMEDIATE AFTER ALONG IS COMPLEX MALL BE STABLED INMEDIATE ATTER A TOTAL OF <u>MUM ACCESS</u> PLAN. IT & ALSO THE CONTRACTORS RESONORAD FURDIONY OF DENUME THE CONTROLS ARE PROPERLY INSTALLED AND FUNCTIONN TO PREVENT TURBID OR POLLUTED WATER FROM LEAVING THE PROJ TO AN ON-STEE CONTRACTORS RESONORAD FURDIONY CONTROLS ARE PROPERLY INSTALLED. MAINTAINED AND FUNCTIONN TO AN ON-STEE ON TRACTORS REGOVERNMENT BEFORE ENTERING THE CONTRACTOR WILL ADJUST THE EROSION AND TURBIDITY CONTROL PLAN AND AS TO AN ON-STEE ON TRACTORS REQUIREMENTS FOR THE TIMING OF CONTRACTOR AND TURBIDITY CONTROL PLAN ADD AS TO MEET THE EROSION AND TURBIDITY CONTROL PLAN ADD AS TO MEET THE EROSION AND TURBIDITY CONTROL PLAN ADD AS TO MEET THE EROSION AND TURBIDITY CONTROL PLAN ADD AS TO MEET THE EROSION AND TURBIDITY CONTROL PLAN ADD AS TO MEET THE EROSION AND TURBIDITY CONTROL PLAN ADD AS TO MEET THE EROSION AND TURBIDITY CONTROL PLAN ADD AS TO MEET THE EROSION AND TURBIDITY CONTROL PLAN ADD AS TO MEET THE EROSION AND TURBIDITY CONTROL PLAN ADD AS TO MEET THE EROSION AND TURBIDITY CONTROL PLAN ADD AS TO MEET THE EROSION AND TURBIDITY CONTROL PLAN ADD AS TO MEET THE EROSION AND TURBIDITY CONTROL PLAN ADD AS TO MEET THE REGULATORY ACENCIES IN HAY BALE BARRIER CONTROL PLAN ADD AS TO MEET THE CONTROLS INTERIDITY CONTROL PLAN ADD AS TO MEET THE CONTROL PLAN ADD AS TO MEET THE ADD ADD ADD TO MEET AND ADLL BARRIER IS AS PECON AND SECON AND TURBIDITY CONTROL PLAN ADD AS TO MEET THE CONTROL PLAN ADD AS TO MEET THE CONTROL PLAN ADD AS TO MEET TO CONTROL PLAN ADD AS TO MEET THE ADD ADD TO ADD TO MEET AND ADLL BARRIER IS AS PECON AND ADD ADD TO ADD TO ADD TO ADD THE ADD ADD TO ADD T		CONTROLS
REFER TO 'CONTRACTOR'S REQUIREMENTS' FOR THE TIMING OF CONTROLMEASURES. ECRITIFICATION OF COMPLIANCE WITH EDERAL, STATE AND LOCAL REGULATIONS IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL LAWS RELATED TO STORM WATEM MANAGEMENT AND EROSION AND TURBIDITY CONTROLS, THE FOLLOWING PERMITS HAVE BEEN OBTAINED. D.E.R. DREDGE/FILL PERMIT S.J.R.W.M.D. ENVIRONMENTAL RESOURCE PERMIT I.CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED ASSED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIET, THE, AND COMPLETE I AMA WARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS. SIGNED:	BE REGRADED SHALL BE STABILIZED IMMEDIATELY AFTER GRADING IS COMPLETE, WHEN CONSTRUCTION IS COMPLETE, A TOTAL OF <u>##.## ACRES</u> WILL HAVE BEEN REGRADED, <u>##.## ACRES</u> LEFT UNDISTURBED. THE SITE DISCHARGES TO AN <u>ON-SITE CONVEYANCE DITCH</u> . WHERE PRACTICAL, TEMPORARY SEDIMENT BASINS WILL BE USED TO INTERCEPT SEDIMENT BEFORE ENTERING THE PERMANENT CONVEYANCE DITCH.	IT IS THE CONTRACTORS RESPONSIBILITY TO IMPLEMENT THE EROSIO TURBIDITY CONTROLS AS SHOWN ON THE EROSION AND TURBIDITY CO PLAN. IT IS ALSO THE CONTRACTORS RESPONSIBILITY TO ENSURE THE CONTROLS ARE PROPERLY INSTALLED, MAINTAINED AND FUNCTIONING TO PREVENT TURBID OR POLLUTED WATER FROM LEAVING THE PROJE THE CONTRACTOR WILL ADJUST THE EROSION AND TURBIDITY CONTR ON THE EROSON AND TURBIDITY CONTROL PLAN AND ADD ADDITIONAL MEASURES, AS REQUIRED, TO ENSURE THE SITE MEETS ALL FEDERAL, LOCAL EROSION AND TURBIDITY CONTROL REQUIREMENTS. THE FOLLO MANAGEMENT PRACTICES WILL BE IMPLEMENTED BY THE CONTRACTOR REQUIRED BY THE EROSION AND TURBIDITY CONTROL PLAN AND AS R TO MEET THE EROSION AND TURBIDITY REQUIREMENTS IMPOSED ON T
CONTROLIMEASURES. STABILIZATION PRACTICES CERTIFICATION OF COMPLIANCE WITH EDERAL, STATE AND LOCAL REGULATIONS STABILIZATION PRACTICES IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL LAWS RELATED TO STORM WATER MANAGEMENT AND EROSION AND TURBIDITY CONTROLS, THE FOLLOWING PERMITS HAVE BEEN OBTAINED. A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCI B. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM C.O.E. DREDGE/FILL PERMIT J.E.R. DREDGE/FILL PERMIT #		
DECRTIFUCATION OF COUNPLIANCE WITH EDERAL, STATE AND LOCAL REGULATIONS IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL LAWS RELATED TO STORM WATER MANAGEMENT AND EROSION AND TURBIDITY CONTROLS, THE FOLLOWING PERMITS HAVE BEEN OBTAINED. D.E.R. DREDGE/FILL PERMIT #	CONTROL/MEASURES.	STABILIZATION PRACTICES
I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS. SIGNED:	EDERAL, STATE AND LOCAL REGULATIONS IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL LAWS RELATED TO STORM WATER MANAGEMENT AND EROSION AND TURBIDITY CONTROLS, THE FOLLOWING PERMITS HAVE BEEN OBTAINED. D.E.R. DREDGE/FILL PERMIT C.O.E. DREDGE/FILL PERMIT S.J.R.W.M.D. ENVIRONMENTAL RESOURCE PERMIT	 DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS: A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCER B. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES. C. WHERE EFFECTIVENESS IS REQUIRED FOR LESS THAN 3 MONTH D. EVERY EFFORT SHOULD BE MADE TO LIMIT THE USE OF STRAW BARRIERS CONSTRUCTED IN LIVE STREAMS OR IN SWALES WHEF THERE IS THE POSSIBILITY OF A WASHOUT. IF NECESSARY, MEAS SHALL BE TAKEN TO PROPERLY ANCHOR BALES TO INSURE AGAINST WASHOUT.
 KNOWING VIOLATIONS. SIGNED: SIGNED: LEVEL SPREADER: A LEVEL SPREADER MAY BE USED WHERE SED 	ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE	 BALE BARRIER. ALSO REFER TO D-901, D-911 AND D-12 FOR PROPER LOCATION, MATERIAL & USAGE. 2. FILTER FABRIC BARRIER: FILTER FABRIC BARRIERS CAN BE USED IN DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS: A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCER B. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES. REFER TO CITY STANDARD DETAIL D-910 FOR PROPER CONSTRUCT
4. LEVEL SPREADER: A LEVEL SPREADER MAY BE USED WHERE SED	KNOWING VIOLATIONS.	3. BRUSH BARRIER WITH FILTER FABRIC: BRUSH BARRIER MAY BE U BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION
		4. LEVEL SPREADER: A LEVEL SPREADER MAY BE USED WHERE SED FREE STORM RUNOFF IS INTERCEPTED AND DIVERTED AWAY FRO GRADED AREAS ONTO UNDISTURBED STABILIZED AREAS. THIS PRA

STORM WATER POLLUTION PREVENTION PLAN

	CONTRA	CTOR'S REQU	IREMENIS		
EROSION DERTAKE E PERMIT NATURE BE LACING	 CONSTRUCTED ON UNDISTURBED SOIL AND THE AREA BELOW THE LEVEL LIP IS STABILIZED. THE WATER SHOULD NOT BE ALLOWED TO RECONCENTRATE AFTER RELEASE. LEVEL SPREADER SHALL BE CONSTRUCTED IN ACCORDANCE TO CITY STANDARD DETAIL D-914. 5. STOCKPILING MATERIAL: NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE INTO ANY ADJACENT WATER BODY OR STORM WATER COLLECTION FACILITY. 6. EXPOSED AREA LIMITATION: THE SURFACE AREA OF OPEN, RAW ERODIBLE 	APPLY TO FLOWS FROM THAT ARE EITHER UND STABILIZATION WHERE DISTURBED AREA AND BASINS CONSTRUCTED ACCORDANCE WITH TH SEDIMENT COLLECTED	DF STORAGE AREA PER ACRE DRA M OFFSITE AREAS AND FLOWS FRO STURBED OR HAVE UNDERGONE SUCH FLOWS ARE DIVERTED ARC THE SEDIMENT BASIN. ANY TEMPO MUST BE BACKFILLED AND COMP E SPECIFICATIONS FOR STRUCTU IN PERMANENT OR TEMPORARY S ON FINAL STABILIZATION.	DM ONSITE AREAS FINAL DUND BOTH THE DRARY SEDIMENT ACTED IN RAL FILL. ALL	HAZARDOUS PRODUCTS THESE PRACTICES ARE USED HAZARDOUS MATERIALS. * PRODUCTS WILL BE KEPT IN RESEALABLE. * ORIGINAL LABELS AND MATE CONTAIN IMPORTANT PROD * IF SURPLUS PRODUCT MUS
	SOIL EXPOSED BY CLEARING AND GRUBBING OPERATIONS OR EXCAVATION AND FILLING OPERATIONS SHALL NOT EXCEED 10 ACRES.				AND STATE RECOMMENDED FOLLOWED.
	THIS REQUIREMENT MAY BE WAIVED FOR LARGE PROJECTS WITH AN EROSION CONTROL PLAN WHICH DEMONSTRATES THAT OPENING OF		OTHER CONTRO	OLS	PRODUCT SPECIFIC PRACTIC
	ADDITIONAL AREAS WILL NOT SIGNIFICANTLY AFFECT OFF-SITE DEPOSIT OF SEDIMENTS.				THE FOLLOWING PRODUCT SI PETROLEUM PRODUCTS
EWER, AS	 INLET PROTECTION: INLETS AND CATCH BASINS WHICH DISCHARGE DIRECTLY OFF-SITE SHALL BE PROTECTED FROM SEDIMENT-LADEN STORM RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET. TEMPORARY SEEDING: AREAS OPENED BY CONSTRUCTION OPERATIONS AND THAT ARE NOT ANTICIPATED TO BE RE-EXCAVATED OR DRESSED AND 	COLLECTED AND ST DUMPSTER WILL ME	ALS EXCEPT LAND CLEARING DEB ORED IN A SECURELY LIDDED ME ET ALL LOCAL AND STATE SOLID DUMPSTER WILL BE EMPTIED AS	TAL DUMPSTER. THE WASTE MANAGEMENT	ALL ONSITE VEHICLES WI REGULAR PREVENTIVE M LEAKAGE. PETROLEUM PI CONTAINERS WHICH ARE USED ONSITE WILL BE AP RECOMMENDATIONS. FERTILIZERS
THE ANY SOD	 RECEIVE FINAL GRASSING TREATMENT WITHIN 30 DAYS SHALL BE SEEDED WITH A QUICK GROWING GRASS SPECIES WHICH WILL PROVIDE AN EARLY COVER DURING THE SEASON IN WHICH IT IS PLANTED AND WILL NOT LATER COMPETE WITH THE PERMANENT GRASSING. 9. TEMPORARY SEEDING AND MULCHING: SLOPES STEEPER THAN 6:1 THAT FALL WITHIN THE CATEGORY ESTABLISHED IN PARAGRAPH 8 ABOVE SHALL ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 2 INCHES 	TRASH WILL BE HAU PERSONNEL WILL B PROCEDURE FOR W PRACTICES WILL BE CONSTRUCTION SU THE DAY-TO-DAY SI	ULED TO A STATE APPROVED LANE E INSTRUCTED REGARDING THE C ASTE DISPOSAL. NOTICES STATIN POSTED AT THE CONSTRUCTION PERINTENDENT, THE INDIVIDUAL M TE OPERATIONS, WILL BE RESPON E PROCEDURES ARE FOLLOWED.	OFILL. ALL CORRECT G THESE SITE BY THE VHO MANAGES	FERTILIZERS USED WILL E RECOMMENDED BY THE N BE WORKED INTO THE SO STORAGE WILL BE IN A CO PARTIALLY USED BAGS OF SEALABLE PLASTIC BIN TO <u>PAINTS</u>
s	LOOSE MEASURE OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDED AREA ADEQUATE TO PREVENT MOVEMENT OF SEED AND MULCH. 10. TEMPORARY GRASSING: THE SEEDED OR SEEDED AND MULCHED AREA(S) SHALL BE ROLLED AND WATERED OR HYDROMULCHED OR OTHER SUITABLE METHODS IF REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER. TEMPORARY GRASSING SHALL BE THE SAME MIX & AMOUNT REQUIRED FOR PERMANENT GRASSING IN THE CONTRACT SPECIFICATIONS.	HAZARDOUS WASTE ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE SITE SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.			ALL CONTAINERS WILL BE REQUIRED FOR USE. EXC STORM SEWER SYSTEM E TO MANUFACTURERS' INS <u>CONCRETE TRUCKS</u> CONCRETE TRUCKS WILL SURPLUS CONCRETE OR
	11. TEMPORARY REGRASSING : IF, AFTER 14 DAYS FROM SEEDING, THE TEMPORARY GRASSED AREAS HAVE NOT ATTAINED A MINIMUM OF 75 PERCENT GOOD GRASS COVER, THE AREA WILL BE REWORKED AND ADDITIONAL SEED APPLIED SUFFICIENT TO ESTABLISH THE DESIRED VEGETATIVE COVER.	SANITARY WASTE ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NEEDED TO PREVENT POSSIBLE SPILLAGE. THE WASTE WILL BE COLLECTED AND DEPOSED OF IN ACCORDANCE WITH STATE AND LOCAL WASTE DISPOSAL REGULATIONS FOR SANITARY SEWER OR SEPTIC SYSTEMS.			SPILL CONTROL PRACTICES IN ADDITION TO THE GOOD HO PRACTICES DISCUSSED IN TH FOLLOWING PRACTICES WILL CLEANUP:
°S LIZED	 MAINTENANCE: ALL FEATURES OF THE PROJECT DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENT SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION AS THEY WERE ORIGINALLY DESIGNED AND CONSTRUCTED. DERMANENT EROSION CONTROL THE EROSION CONTROL FACILITIES OF 	OFFSITE VEHICLE TRACKING A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEPT DAILY TO REMOVE ANY EXCESS			MANUFACTURERS' RECOMME CLEARLY POSTED ON SITE AN PROCEDURES AND THE LOCA SUPPLIES.
	13. PERMANENT EROSION CONTROL: THE EROSION CONTROL FACILITIES OF THE PROJECT SHOULD BE DESIGNED TO MINIMIZE THE IMPACT ON THE OFFSITE FACILITIES.	· · ·	K TRACKED FROM THE SITE. DUMF E CONSTRUCTION SITE WILL BE C		MATERIALS AND EQUIPMENT IN THE MATERIAL STORAGE A INCLUDE BUT NOT BE LIMITED
D OL OPERLY ITE.	14. PERMANENT SEEDING: ALL AREAS WHICH HAVE BEEN DISTURBED BY CONSTRUCTION WILL, AS A MINIMUM, BE SEEDED. THE SEEDING MIX MUST PROVIDE BOTH LONG-TERM VEGETATION AND RAPID GROWTH SEASONAL VEGETATION. SLOPES STEEPER THAN 4:1 SHALL BE SEEDED AND MULCHED OR SODDED.	INVENTORY F	OR POLLUTION PR	EVENTION PLAN	GLOVES, GOGGLES, LIQUID A SAND, SAWDUST, AND PLAST FOR THIS PURPOSE. ALL SPILLS WILL BE CLEANED
SHOWN NTROL TE AND	STRUCTURAL PRACTICES	THE MATERIALS OR SU PRESENT ONSITE DUR	UBSTANCES LISTED BELOW ARE E NING CONSTRUCTION:	XPECTED TO BE	THE SPILL AREA WILL BE KEP WEAR APPROPRIATE PROTEC
G BEST RED ROJECT	 TEMPORARY DIVERSION DIKE: TEMPORARY DIVERSION DIKES MAY BE USED TO DIVERT RUNOFF THROUGH A SEDIMENT-TRAPPING FACILITY. AND IT SHALL BE CONSTRUCTED IN ACCORDANCE TO D-914. 	Concrete	Fertilizers Petroleum Based Products Cleaning Solvents	Wood Masonry Blocks Roofing Materials	CONTACT WITH A HAZARDOU SPILL OF TOXIC OR HAZARDO APPROPRIATE STATE OR LOC
	 TEMPORARY SEDIMENT TRAP: A SEDIMENT TRAP SHALL BE INSTALLED IN AN DRAINAGEWAY AT A STORM DRAIN INLET OR AT OTHER POINTS OF DISCHARGE FROM A DISTURBED AREA. THE FOLLOWING SEDIMENT TRAPS MAY BE CONSTRUCTED EITHER 	Detergents	Paints	 Metal Studs 	SIZE OF THE SPILL. THE SPILL PREVENTION PLAN PREVENT THIS TYPE OF SPILI
	INDEPENDANTLY OR IN CONJUNCTION WITH A TEMPORARY DIVERSION DIKE:		SPILL PREVENTION	DN	THE SPILL IF THERE IS ANOTH CAUSED IT, AND THE CLEANU
s	 A. BLOCK & GRAVEL SEDIMENT FILTER - THIS PROTECTION IS APPLICABLE WHERE HEAVY FLOWS AND/OR WHERE AN OVERFLOW CAPACITY IS NECESSARY TO PREVENT EXCESSIVE PONDING AROUND THE STRUCTURE. REFER TO D-902 FOR CONSTRUCTION OF A CURB INLET SEDIMENT FILTER, AND D-904 FOR CONSTRUCTION OF A DROP INLET SEDIMENT FILTER. B. GRAVEL SEDIMENT TRAP - THIS PROTECTION IS APPLICABLE WHERE HEAVY CONCENTRATED FLOWS ARE EXPECTED, BUT NOT WHERE 	MATERIAL MANAGEMENT PRACTICES THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF. GOOD HOUSEKEEPING THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT.			THE SITE SUPERINTENDENT F OPERATIONS, WILL BE THE SF HE/SHE WILL DESIGNATE AT L WILL RECEIVE SPILL PREVENT INDIVIDUALS WILL EACH BECO OF PREVENTION AND CLEANU PERSONNEL WILL BE POSTED
	PONDING AROUND THE STRUCTURE MIGHT CAUSE EXCESSIVE INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURES & UNPROTECTED AREAS. REFER TO D-903 FOR CONSTRUCTION OF CURB INLET & DROP SEDIMENT TRAP.	* AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.			APPLICABLE, IN THE OFFICE T
N	C. DROP INLET SEDIMENT TRAP - THIS PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (S < 5%) AND WHERE SHEET OR OVERLAND FLOWS (Q < 0.5 CFS) ARE TYPICAL. THIS METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS SUCH AS IN STREET OR HIGHWAY MEDIANS. REFER TO D-905 FOR CONSTRUCTION OF HAY BALE & FABRIC SEDIMENT FILTER.	 * ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE. * PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL. 			EROSION AND SEDIMENT CO THE FOLLOWING ARE INSPE USED TO MAINTAIN EROSION * NO MORE THAN 10 ACRES (
	 OUTLET PROTECTION: APPLICABLE TO THE OUTLETS OF ALL PIPES AND PAVED CHANNEL SECTIONS WHERE THE FLOW COULD CAUSE EROSION & SEDIMENT PROBLEM TO THE RECEIVING WATER BODY. SILT FENCES & HAY BALES ARE TO BE INSTALLED IMMEDIATELY DOWNSTREAM OF THE DISCHARING STRUCTURE AS SHOWN ON THE OUTLET PROTECTION DETAIL. 	* SUBSTANCES WILL N RECOMMENDED BY	NOT BE MIXED WITH ONE ANOTHE THE MANUFACTURER. LE, ALL OF A PRODUCT WILL BE US		* ALL CONTROL MEASURES A THE PERSON RESPONSIBLE SOMEONE APPOINTED BY T FOLLOWING ANY STORM EN
RE E	4. SEDIMENT BASIN: WILL BE CONSTRUCTED AT THE COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH 10 OR MORE DISTURBED ACRES AT ONE TIME, THE PROPOSED STORM WATER PONDS (OR TEMPORARY PONDS) WILL BE CONSTRUCTED FOR USE AS SEDIMENT BASINS. THESE SEDIMENT BASINS MUST PROVIDE A MINIMUM OF 3 600 CUBIC EFET OF	* MANUFACTURER'S F WILL BE FOLLOWED.	RECOMMENDATIONS FOR PROPER		* ALL TURBIDITY CONTROL M ORDER; IF A REPAIR IS NEC REPORT. * BUILT UP SEDIMENT WILL E REACHED ONE-THIRD THE
E	SEDIMENT BASINS MUST PROVIDE A MINIMUM OF 3,600 CUBIC FEET OF STORAGE PER ACRE DRAINED UNTIL FINAL STABILIZATION OF THE SITE.		OPER USE AND DISPOSAL.		

о то	REDUCE	THE RISKS	ASSOCIATE	D WITH

EPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT

MATERIAL SAFETY DATA WILL BE RETAINED; THEY PRODUCT INFORMATION.

T MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL ENDED METHODS FOR PROPER DISPOSAL WILL BE

ACTICES UCT SPECIFIC PRACTICES WILL BE FOLLOWED ONSITE:

ES WILL BE MONITORED FOR LEAKS AND RECEIVE TIVE MAINTENANCE TO REDUCE THE CHANCE OF EUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED HARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES BE APPLIED ACCORDING TO THE MANUFACTURER'S

WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL HE SOIL TO LIMIT EXPOSURE TO STORM WATER. N A COVERED AREA. THE CONTENTS OF ANY AGS OF FERTILIZER WILL BE TRANSFERRED TO A BIN TO AVOID SPILLS.

ILL BE TIGHTLY SEALED AND STORED WHEN NOT E. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING RS' INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE E OR DRUM WASH WATER ON THE SITE.

OOD HOUSEKEEPING AND MATERIAL MANAGEMENT D IN THE PREVIOUS SECTIONS OF THIS PLAN, THE S WILL BE FOLLOWED FOR SPILL PREVENTION AND

OMMENDED METHODS FOR SPILL CLEANUP WILL BE ITE AND SITE PERSONNEL WILL BE MADE AWARE OF THE LOCATION OF THE INFORMATION AND CLEANUP

MENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT AGE AREA ONSITE. EQUIPMENT AND MATERIALS WILL IMITED TO BROOMS, DUST PANS, MOPS, RAGS, QUID ABSORBENT (i.e. KITTY LITTER OR EQUAL), PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY

ANED UP IMMEDIATELY AFTER DISCOVERY.

E KEPT WELL VENTILATED AND PERSONNEL WILL ROTECTIVE CLOTHING TO PREVENT INJURY FROM RDOUS SUBSTANCE.

ARDOUS MATERIAL WILL BE REPORTED TO THE R LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE

N PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO F SPILL FROM REOCCURRING AND HOW TO CLEAN UP ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT EANUP MEASURES WILL ALSO BE INCLUDED.

DENT RESPONSIBLE FOR THE DAY-TO-DAY SITE THE SPILL PREVENTION AND CLEANUP COORDINATOR. E AT LEAST ONE OTHER SITE PERSONNEL WHO EVENTION AND CLEANUP TRAINING. THESE BECOME RESPONSIBLE FOR A PARTICULAR PHASE LEANUP. THE NAMES OF RESPONSIBLE SPILL DSTED IN THE MATERIAL STORAGE AREA AND IF FICE TRAILER ONSITE.

CE/INSPECTION PROCEDURES

NT CONTROL INSPECTION AND MAINTENANCE PRACTICES NSPECTION AND MAINTENANCE PRACTICES THAT WILL BE OSION AND SEDIMENT CONTROLS.

RES OF THE SITE WILL BE DENUDED AT ONE TIME ERMISSION FROM THE ENGINEER.

URES WILL BE INSPECTED BY THE SUPERINTENDENT, SIBLE FOR THE DAY TO DAY SITE OPERATION OR D BY THE SUPERINTENDENT, AT LEAST ONCE A WEEK AND RM EVENT OF 0.25 INCHES OR GREATER.

ROL MEASURES WILL BE MAINTAINED IN GOOD WORKING S NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF

WILL BE REMOVED FROM SILT FENCE WHEN IT HAS THE HEIGHT OF THE FENCE.

* SILT FENCE WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND.

* THE SEDIMENT BASINS WILL BE INSPECTED FOR THE DEPTH OF SEDIMENT, AND BUILT UP SEDIMENT WILL BE REMOVED WHEN IT REACHES 10 PERCENT OF THE DESIGN CAPACITY OR AT THE END OF THE JOB, WHICHEVER COMES FIRST.

* DIVERSION DIKES/SWALES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.

* TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.

* A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. A COPY OF THE REPORT FORM TO BE COMPLETED BY THE INSPECTOR IS ATTACHED. THE REPORTS WILL BE KEPT ON SITE DURING CONSTRUCTION AND AVAILABLE UPON REQUEST TO THE OWNER, ENGINEER OR ANY FEDERAL, STATE OR LOCAL AGENCY APPROVING SEDIMENT AND AND EROSION PLANS, OR STORM WATER MANAGEMENT PLANS, THE REPORTS SHALL BE MADE AND RETAINED AS PART OF THE STORM WATER POLLUTION PREVENTION PLAN FOR AT LEAST THREE YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED AND THE NOTICE OF TERMINATION IS SUBMITTED THE REPORTS SHALL IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE.

* THE SITE SUPERINTENDENT WILL SELECT UP TO THREE INDIVIDUALS WHO WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.

* PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE SITE. SUPERINTENDENT. THEY WILL BE TRAINED IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ONSITE IN GOOD WORKING ORDER.

NON-STORM WATER DISCHARGES

IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES WILL OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD:

* WATER FROM WATER LINE FLUSHING

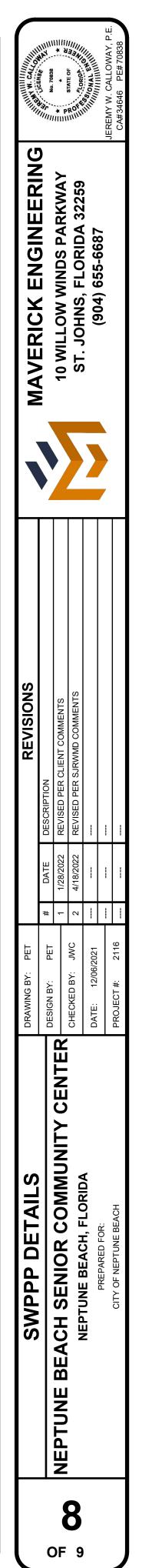
* PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED).

* UNCONTAMINATED GROUNDWATER (FROM DEWATERING EXCAVATION). ALL NON-STORM WATER DISCHARGES WILL BE DIRECTED TO THE SEDIMENT BASIN PRIOR TO DISCHARGE.

CONTRACTOR'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

SIGNATURE	BUSINESS NAME AND ADDRESS OF CONTRACTOR & ALL SUBS	RESPONSIBLE FOR/DUTIES
		GENERAL CONTRACTOR
		SUB-CONTRACTOR



FROJECT. NEFTONE DEA	CH SENIOR COMMUN	ITY CENTER				PROJECT: NEPT	TUNE BEACH SENIO	R COMMUNITY CENTER		
	ATER POLLUTION PR							DLLUTION PREVENTION PL		
INSPECTION AND MAINTENANCE REPORT FORM TO BE COMPLETED EVERY 7 DAYS AND WITHIN 24 HOURS OF							ואורוכ			
	L EVENT OF 0.25 INC					DATE:	STRUCTURA	L CONTROLS		
					EARTH DIKE	ES/SWALES				
						DIKE OR SWALE	FROM	то	IS DIKE/SWALE STABILIZED ?	IS THERE EVIDENCE OF WASHOUT OR
		DATE:								OVERTOPPING
INSPECTOR'S QUALIFICA										
DAYS SINCE LAST RAINF	LL:	AMOUNT OF LAST RAINF.	ALLI	INCHES						
STABI	LIZATION MEASURES	3				MAINTENANCE	REQUIRED FOR EA	RTH DIKE/SWALE:		
INSPECTION AREA	DATE SINCE	DATE OF								
(DESCRIPTION OF LOCATION)	LAST DISTURBED DI	NEXT STABLIZED	STABILIZED WITH	H CONDITION						
						TO BE PERFOR			ON OR BEFORE:	
							ATCH BASIN/CURB	INLET/OUTFALL TURBIDITY ANY EVIDENCE	ARE TURBIDITY	DOES SILT NEED TO
L						STRUCTURE/ OUTFALL	CONTROLS IN PLACE	OF CLOGING/WASHOUT OR BYPASSING ?		BE REMOVED FROM AROUNI CONTROL
<u> </u>										
STABILIZATION REQU	IRED:					MAINTENANCE	REQUIRED FOR CA	TCH BASIN/CURB INLETS/0	OUTFALLS TURBIDITY CO	DNTROLS:
TO BE PERFORMED E	····				1 1					
	or	ON O	R BEFORE:			TO BE PERFOR	MED BY:		ON OR BEFORE:	
		ON O	R BEFORE:			TO BE PERFOR	MED BY: PAGE 2 O	IF 4	ON OR BEFORE:	
	PAGE 1 OF 4		R BEFORE:				PAGE 2 O	PF 4	ON OR BEFORE:	
PROJECT: NEPTUNE BEA	PAGE 1 OF 4	ITY CENTER REVENTION PLAN CE REPORT FORM SIN				PROJECT: NEPT	PAGE 2 O		LAN	
PROJECT: NEPTUNE BEA	PAGE 1 OF 4 CH SENIOR COMMUN ATER POLLUTION PF	ITY CENTER REVENTION PLAN CE REPORT FORM SIN ENT ANY EVIDENT OVERTOPPING	CE OF OF THE	NDITION OF OUTFALL OM SEDIMENT BASIN		PROJECT: NEPT	PAGE 2 O	R COMMUNITY CENTER	LAN	
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PROJECT: NEPTUNE BEA STORM W INSPECTI	PAGE 1 OF 4 CH SENIOR COMMUN ATER POLLUTION PF ON AND MAINTENAN SEDIMENT BA DEPTH OF SEDIN SIDE BASIN	ITY CENTER EVENTION PLAN CE REPORT FORM SIN ENT ANY EVIDEN OVERTOPPING EMBANKME	CE OF OF THE			PROJECT: NEPT	PAGE 2 O	R COMMUNITY CENTER	LAN	
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NFFRING		PARKWAY	DA 32259	01		JEREMY W. CALLOWAY, P.E. CA#34646 PE#70838
		10 WILLOW WINDS PARKWAY	ST. JOHNS, FLORIDA 32259		00-000 (+00)	
REVISIONS	DESCRIPTION	REVISED PER CLIENT COMMENTS	REVISED PER SJRWMD COMMENTS			
	DATE	1/28/2022	4/18/2022		1	
DRAWING BY: PET	DESIGN BY: PET #		CHECKED BY: JWC 2	DATE: 12/06/2021		PROJECT #: 2116
CONTRACTOR CERTIFICATION		INEPTUNE BEACH SENIOR COMMUNITY CENTER			PREPARED FOR:	CITY OF NEPTUNE BEACH
	-		9			

THIS IS THE CONTRACTORS CERTIFICATION REQUIRED BY THE EPA'S NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES), STORM WATER POLLUTION PREVENTION PLAN FOR CONSTRUCTION SITES OVER 5 ACRES. THIS CERTIFICATION MUST BE COMPLETED WEEKLY AND AFTER EVERY RAINFALL EVENT OVER 0.25 INCHES. BUILDING FOOTAGE INFORMATION

NEW DECK ______ 1,614 Sq. Ft. NEW H.C. RAMPS ------ 474 Sq. Ft.

TYPE OF CONSTRUCTION TYPE VB

PROJECT IS LOCATED EAST OF 1-95 WIND-BORNE DEBRIS PROTECTION IS REQUIRED

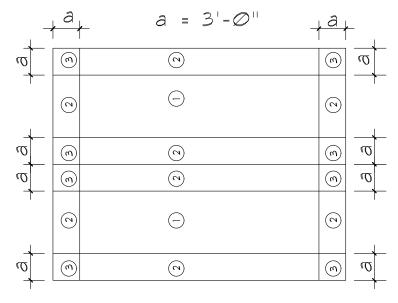
WIND ZONE INFORMATION

THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH, & MEETS THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 2020 7th EDITION 2. WIND IMPORTANCE FACTOR ______ 1.0 3. WIND EXPOSURE CATEGORY ------ B 4. INTERNAL PRESSURE COEFFICIENT +.18 OR -.18 5. COMPONENT & CLADDING WIND LOADS Lbs./Sq.FT.

HEIGHT AND EXPOSURE ADJUSTMENT COEFFICIENTS = 1.00

EFFECTIVE WIND AREA Ft. Sq.										
	1	0	2	Ø		5	Ø		1Ø	Ø
ROOF										
1	10,5	-25.9	10.0	-25	.2	10.0	-24.4	10.0	>	-23.7
2≰3	10.5	-43.5	10.0	-38	8	10.0	-32.7	1Ø.Ø	>	-28.1
WALL										
4	25.9	-28.1	24.7	-26	9	23.2	-25.4	22.0	2	-24.2
5	25.9	-34.7	24.7	- 32.	.4	23.2	-29.3	22.0	2	-26.9
ROOF	OVER	HANG	1Ø)		2Ø	50	i i		100
			-37	3		-36.7	-35.	2		-35.1

-61.5	-48.3	-3Ø.8	-17.6



NOTES:

1. FOR EFFECTIVE AREAS BETWEEN THOSE GIVEN

ABOVE THE LOAD MAY BE INTERPOLATED BY THE DESIGNER, OTHERWISE USE THE LOAD ASSOCIATED WITH THE LOWER EFFECTIVE AREA.

2. SEE FIGURES FOR LOCATION OF ZONES.

3. PLUS AND MINUS SIGNS SIGNIFY PRESSURE ACTING TOWARD AND AWAY FROM THE BUILDING SURFACES.

CODE ANALYSIS

THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH, & MEETS THE REQUIREMENTS OF:

BUILDING - FLORIDA BUILDING CODE, BUILDING 2020 7th EDITION

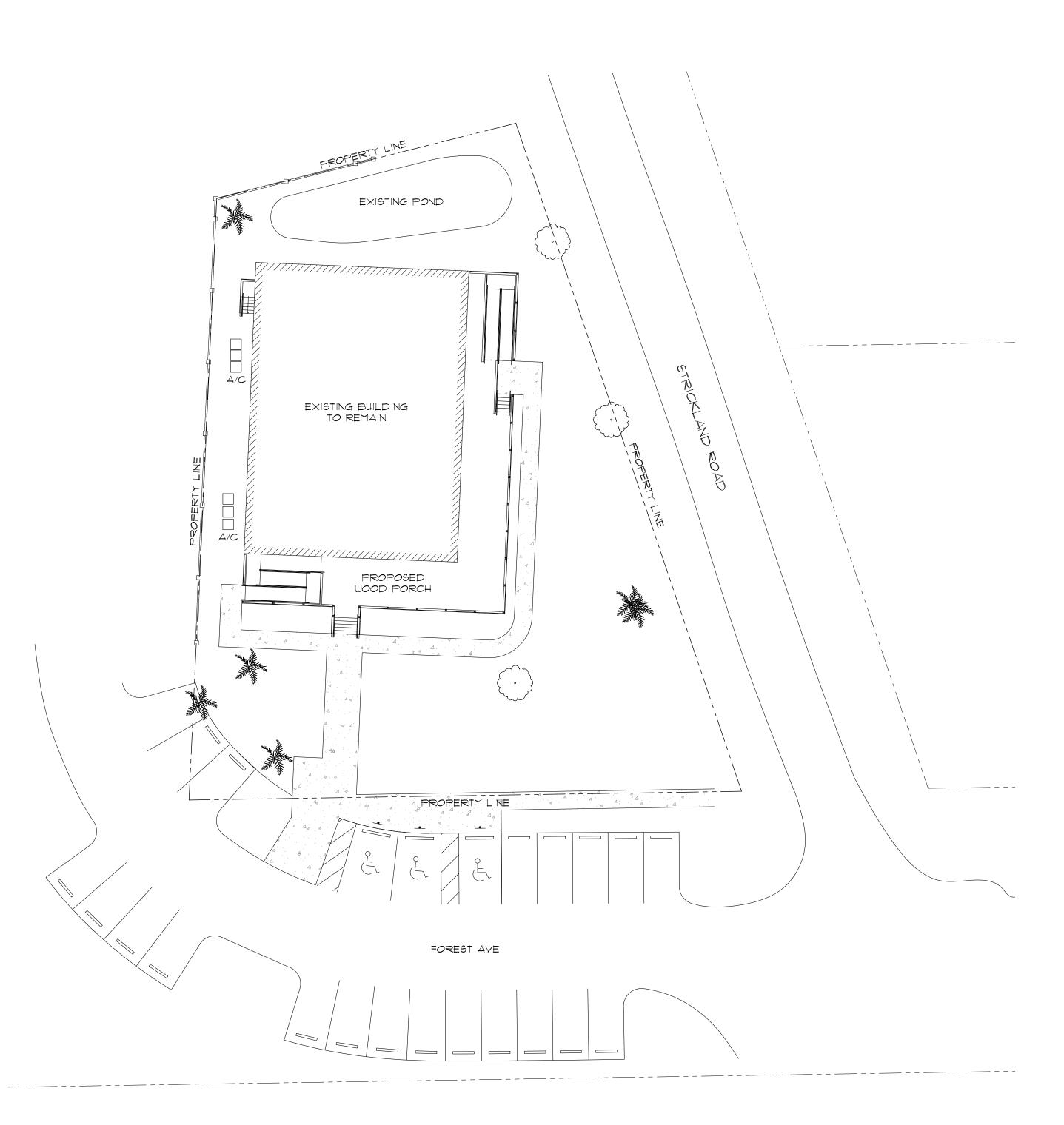
PLUMBING - FLORIDA BUILDING CODE, PLUMBING 2020 7th EDITION

MECHANICAL - FLORIDA BUILDING CODE, MECHANICAL 2020 7th EDITION

LIFE SAFETY - NATIONAL FIRE PREVENTION ASSOC. CODE, LATEST EDITION

FIRE CODE - FLORIDA FIRE PREVENTION CODE 1th EDITION

HANDI-CAP CODE - FLORIDA BUILDING CODE, CHAPTER 11 - ACCESSIBILITY, 2020 7th EDITION ACCESSIBILITY CODE - FLORIDA BUILDING CODE, CHAPTER 11 - ACCESSIBILITY, 2020 7th EDITION ENERGY CODE - FLORIDA BUILDING CODE, ENERGY CONSERVATION, 2020 7th EDITION NATIONAL ELECTRIC CODE CURRENT EDITION



Síte Plan 1"=20'-0"

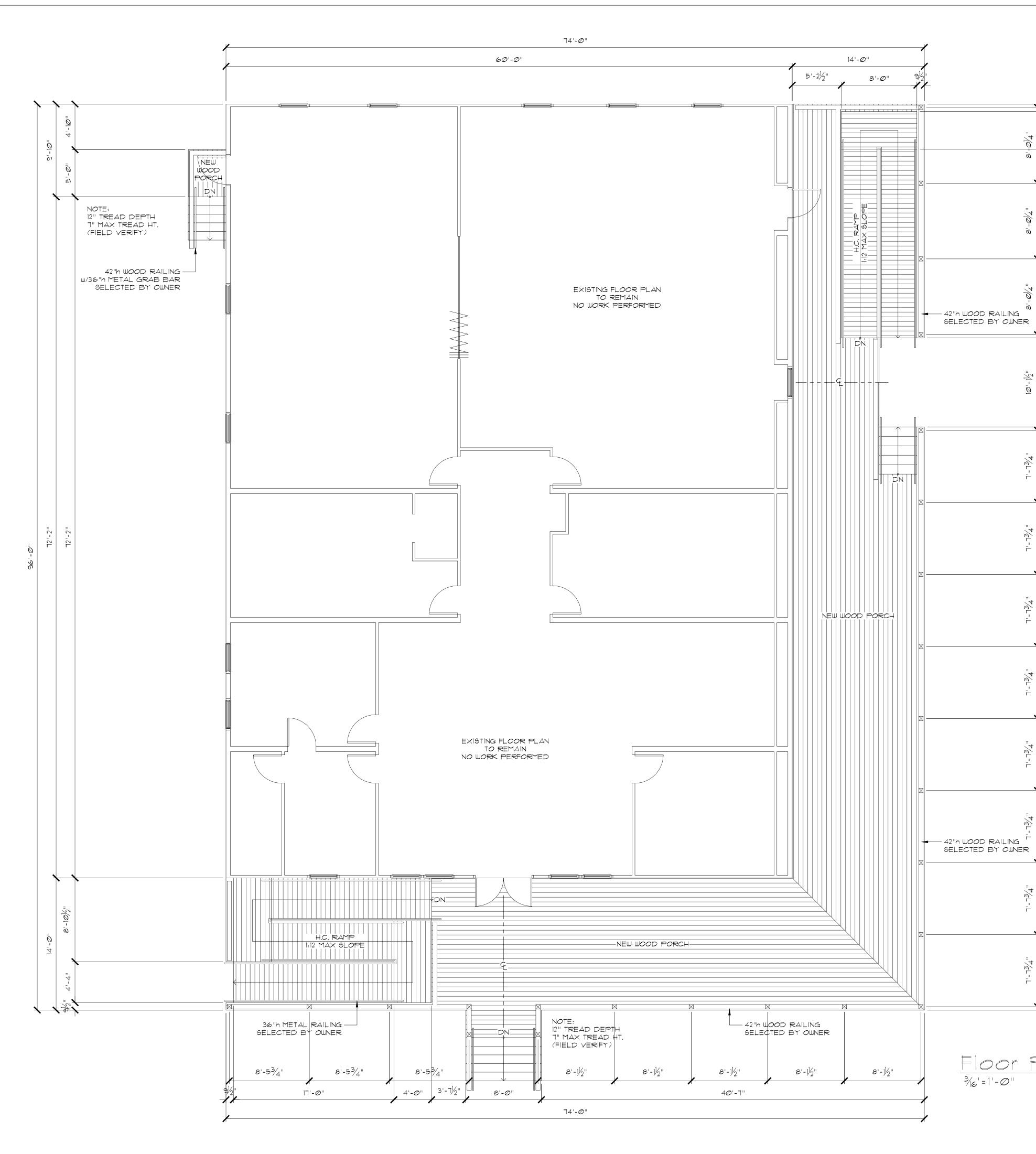
Neptune Beach Senior Community Center Neptune Beach, Florida

INDEX OF DRAWINGS

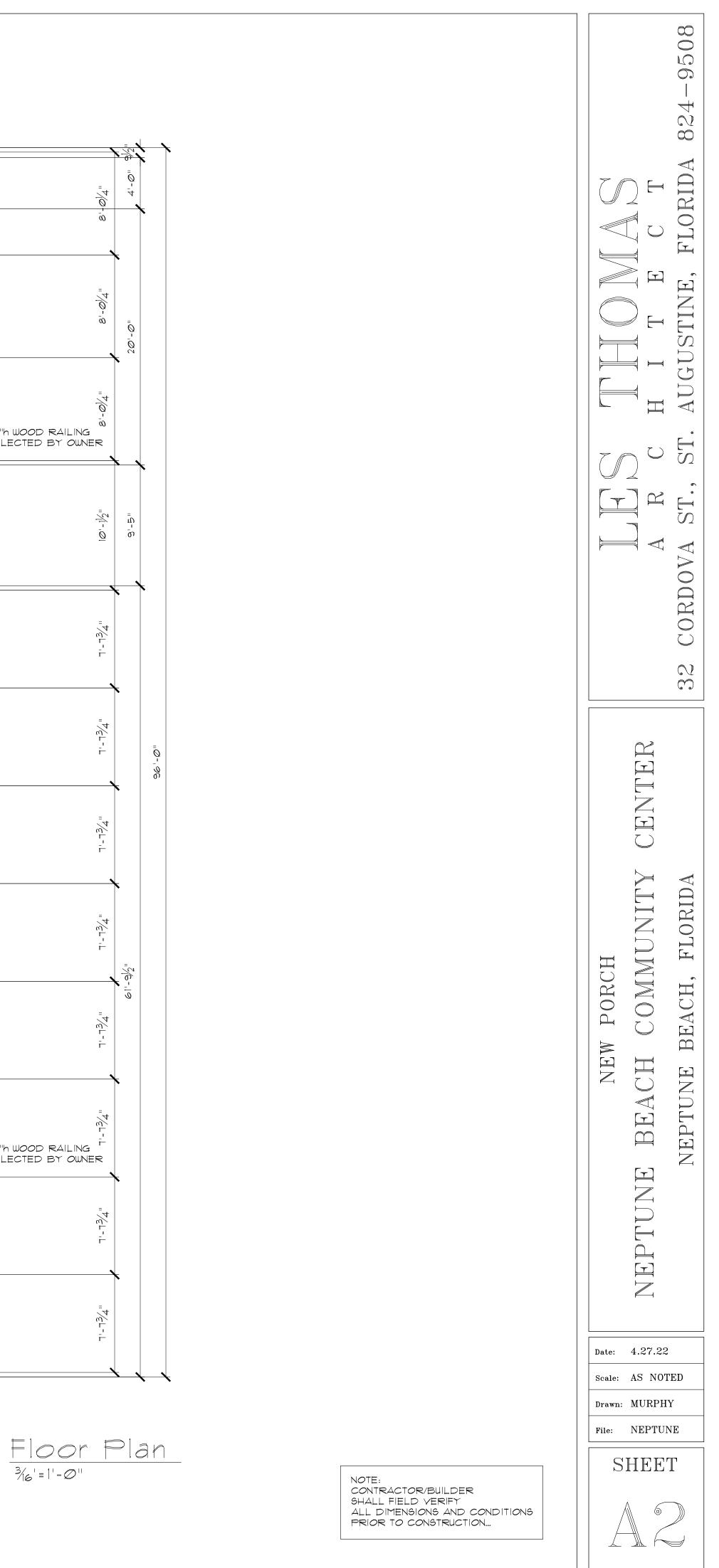
- AI CODE INFORMATION AND SHEET INDEX
- A2 FLOOR PLAN
- A3 BUILDING ELEVATIONS A4 FOUNDATION PLAN
- A5 FLOOR FRAMING PLAN
- AG ROOF FRAMING PLAN
- A7 BUILDING SECTIONS AND DETAILS
- A8 ELECTRICAL PLAN

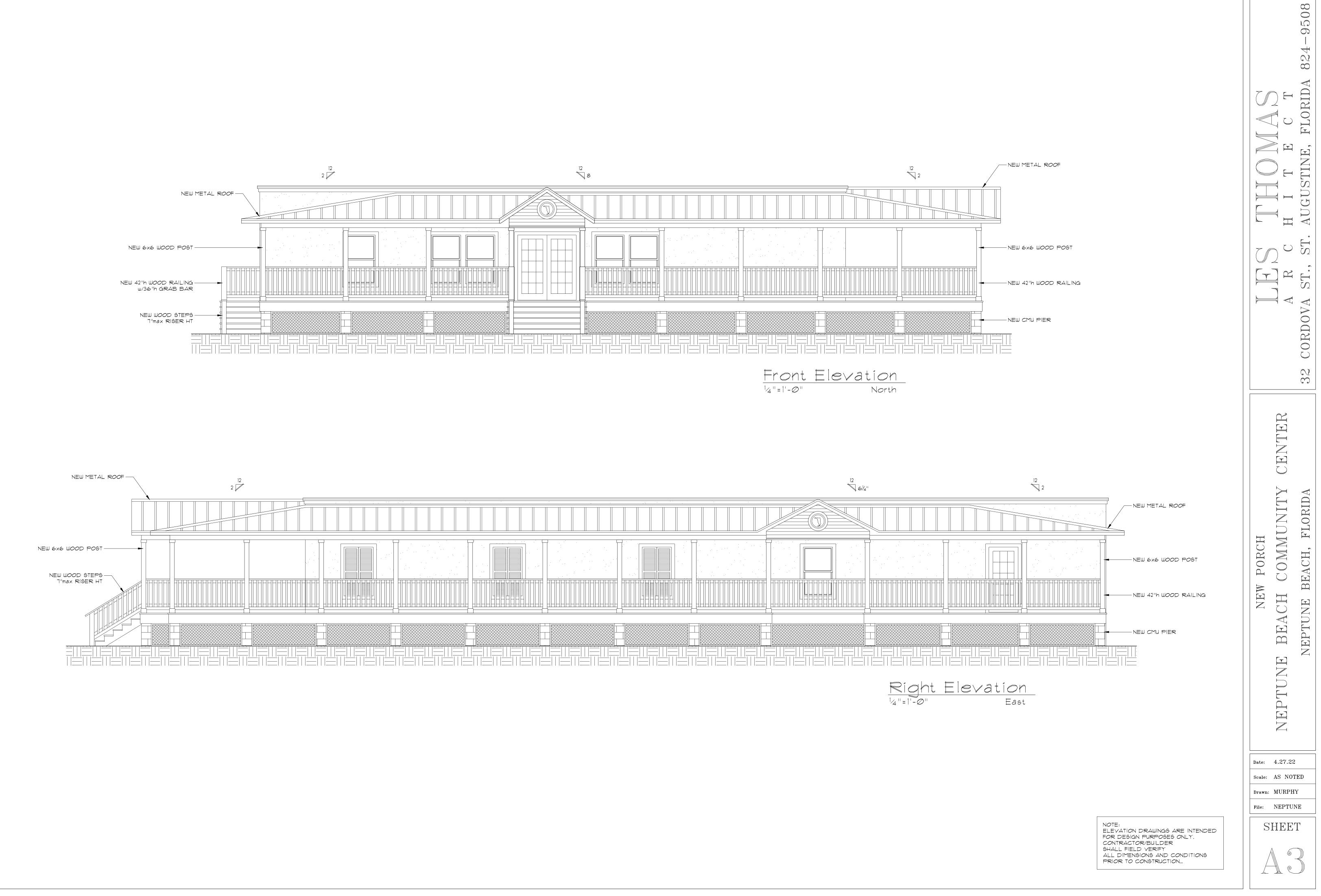
STRUCTURAL NOTES I. DESIGN LOADS: A. ROOF LIVE LOADS I6 p.s.f. B. FLOOR LIVE LOADS 40 p.s.f. C. WIND LOADS 130 m.p.h. (FL. BLDG. CODE 2020) 2. MATERIAL	E C T FLORIDA 824-9508
A. CONCRETE: DESIGN AND CONSTRUCTED PER A.C.I. 318-83 ITEM COMPRESSIVE STRENGTH @ 28 DAYS SLAB 2,500 P.S.I. C.M.U. FILLED CELLS & BEAMS 2,500 P.S.I. B. REINFORCING STEEL: CONFORM TO ASTM A-615 GAGE 60 C. STRUCTURAL STEEL: DESIGN PER CURRENT ADDITION	I I T I I AUGUSTINE
 OF A.I.S.C. I. SHAPES AND PLATES CONFORM TO ASTM A-36 2. WELDING CONFORM TO "AWS DI.I, STRUCTURAL WELDING CODE" 3. ANCHOR BOLTS AND STEEL TO WOOD SHALL CONFORM TO ASTM A-301 4. WELDED CONNECTIONS NOT SHOWN ON DRAWING SHALL HAVE ALL CONTACTING STEEL SURFACES CONTINUOUS WELDED WITH SUFFICIENT WELD TO FULLY DEVELOP THE THINNER MATERIAL. D. FRAMING LUMBER: SOUTHERN PINE PER N.F.P.A., NATIONAL DESIGN SPECS, FOR WOOD CONSTRUCTION. I. SAWN LUMBER 2x4 THRU 2x12 SHALL BE SOUTHERN PINE NO. 2 @ 19% M.C. 2. INTERIOR WALL STUDS SHALL BE SPRUCE-PINE-FIR NO.2 3. LVL BEAMS SHALL BE SOUTHERN PINE Fb=2400 P.S.I. 4. SAWN LUMBER 4x4 AND LARGER SHALL BE SOUTHERN PINE NO. 1 @ 19% M.C. E. WOOD FLOOR 4 ROOF TRUSSES: DESIGN BY THE MANU- 	32 CORDOVA ST., ST. A
 FACTURER TO SUPPORT DEAD, UND AND LIVE LOADS. I. MANUFACTURE SHALL SUBMIT ERECTION DRAWINGS FOR REVIEW BEFORE FABRICATING TRUSSES. 2. ERECTION DRAWINGS SHALL SHOW ALL LATERAL AND DIAGONAL BRACING AS REQUIRED IN THE TRUSS STISTEM. 3. TRUSS TO TRUSS CONNECTIONS SHALL BE DESIGNED BY THE MANUFACTURER. F. PLYWOOD ROOF AND WALL SHEATHING: CONFORM TO THE AMERICAN PLYWOOD ASSOC, STANDARDS AND SHALL BE AP C-D INT. WITH EXTERIOR GLUE (CDX) MIN. G. CONCRETE MASONRY UNITS: CONFORM TO ASTM C-90. MORTAR SHALL BE TYPE M OR S. H. WOOD FRAMING ANCHORS AND HURRICANE TIE CLIPS SHALL BE "GO-BOLTS" OR EQUAL. 4. CONCRETE MASONRY UNITS: A ALL CMU, SHALL HAVE 'S BAR VERTICAL WITH CELL FILLED WITH CONCRETE ASSONRY UNITS: A ALL CMU, SHALL HAVE 'S BAR VERTICAL WITH CELL FILLED WITH CONCRETE ASSONRY UNITS: A ALL CMU, SHALL HAVE 'S BAR VERTICAL WITH CELL FILLED WITH CONCRETE ASSONRY UNITS: A ALL CMU, SHALL HAVE 'S BAR VERTICAL WITH CELL FILLED WITH CONCRETE ASSONRY UNITS: A ALL CMU, SHALL HAVE 'S BAR VERTICAL WITH CELL FILLED WITH CONCRETE ASSONRY UNITS: A ALL CMU, SHALL HAVE 'S BAR VERTICAL WITH CELL FILLED WITH CONCRETE ASSONRY UNITS: A ALL CMU, SHALL HAVE 'S BAR VERTICAL WITH CELL FILLED WITH CONCRETE ASSONRY UNITS: A ALL CMU, SHALL HAVE 'S BAR VERTICAL WITH CELL FILLED WITH CONCRETE ASSONRY UNITS: A ALL CMU, SHALL HAVE 'S BAR VERTICAL WITH CELL FILLED WITH CONCRETE ASSONRY UNITS: A ALL CMU, SHALL HAVE 'S BAR VERTICAL WITH CELL FILLED WITH CONCRETE ASSONRY UNITS: A ALL CMU, SHALL HAVE 'S BAR VERTICAL BE NALL BE FABRICATED FROM 'S GUAGE GALVANIZED WITHE. 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMP. BRACING UNTIL THE ENTRE STRUCTURE IS FLUMB AND SECURED IN PLACE. 6. SHEATHING SHALL BE NALLED AS FOLLOWS: & ARING SHANK NAILS 80 NALLS & 6' OC. AT PANEL EDGES. 80 NALLS & 6' OC. AT ALL INTERMEDIATE SUPPORTS. 80 NALLS & 6'' OC. AT ALL INTERMEDIATE SUPPORTS. 80 NALLS & 6'' OC. AT ALL INTERMEDIATE SUPPORTS. 80	NEPTUNE BEACH COMMUNITY CENTER NEPTUNE BEACH, FLORIDA
8" OF SHEAR WALL. 7. C.M.U. WALL OPENING HEADS, JAMBS, AND WINDOW SILLS SHALL BE 2×6 MIN. P.T. WITH 1/4" DIA. × 3.1/4" LONG "TAPCONS" @ 18" O.C. 8. ALL EXTERIOR WINDOWS AND DOORS SHALL MEET 130 M.P.H. WIND SPEED. WIND BORNE DEBRIS PROTECTION REQUIRED: IMPACT DEGISTANT WINDOWS OR SHULTERS BY ARCHITECT OR CONTRACTOR	Date: 4.27.22 Scale: AS NOTED Drawn: MURPHY
RESISTANT WINDOWS OR SHUTTERS BY ARCHITECT OR CONTRACTOR.	File: NEPTUNE

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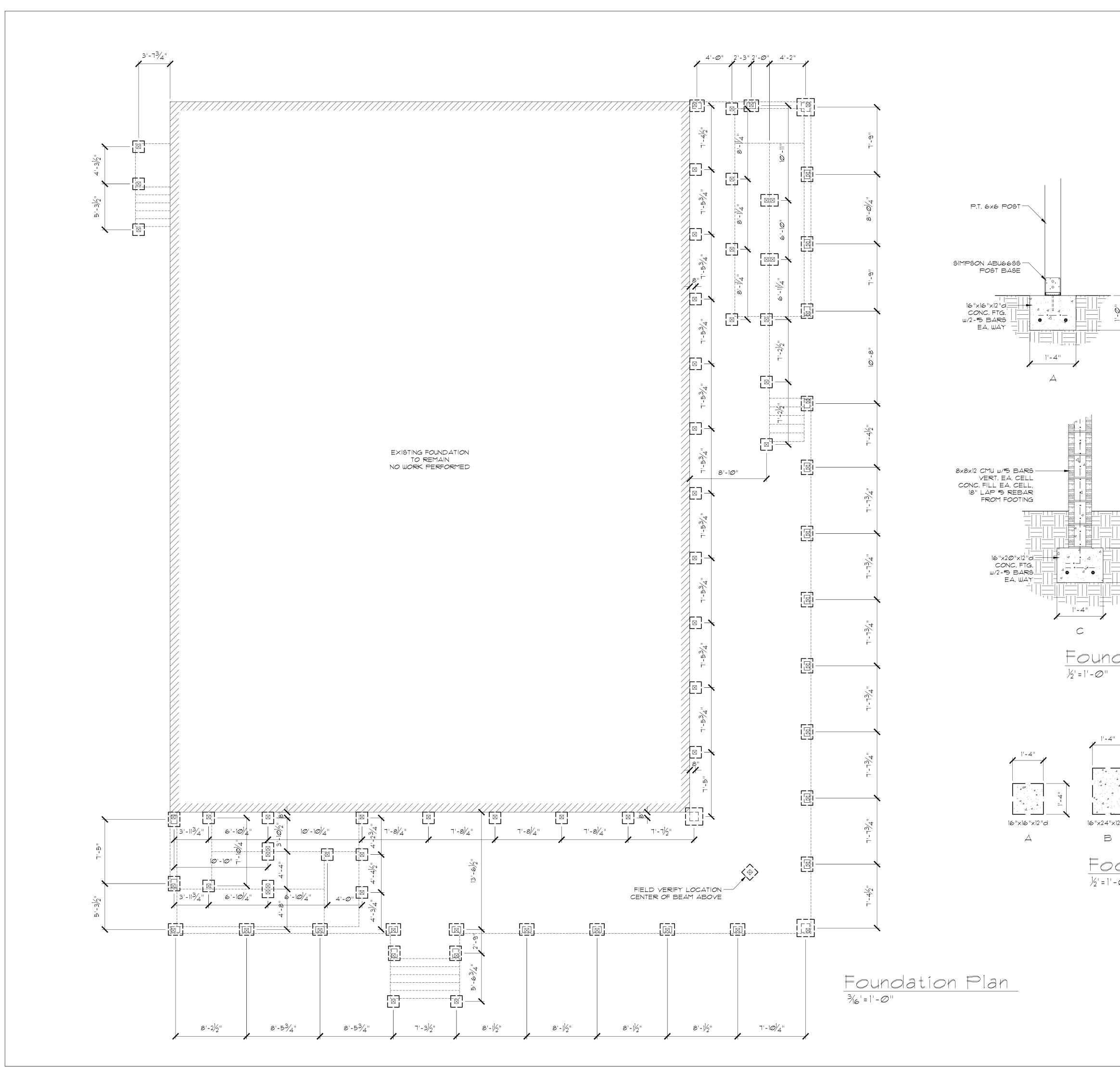






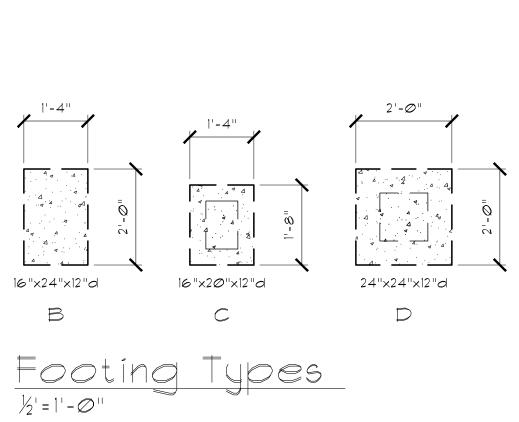


Page 113 of 187

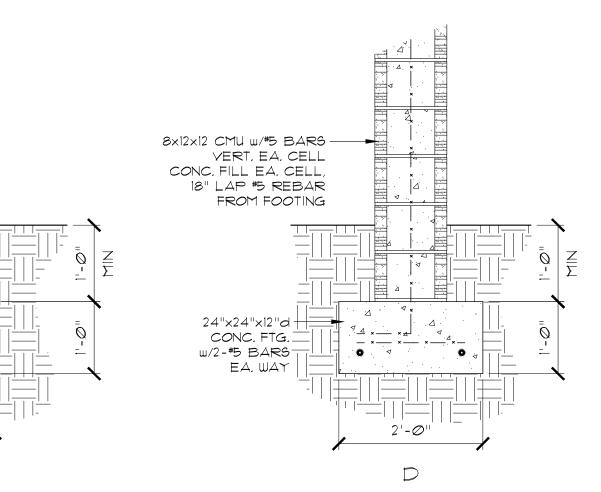


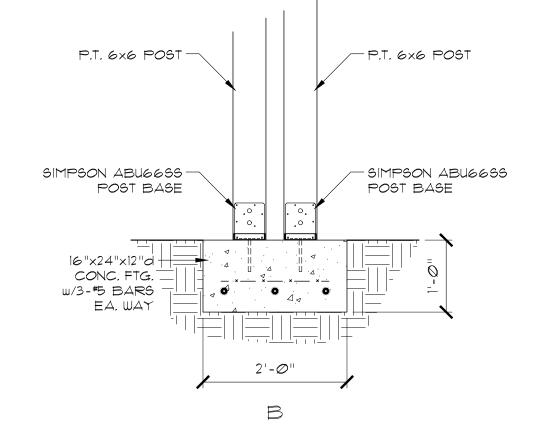
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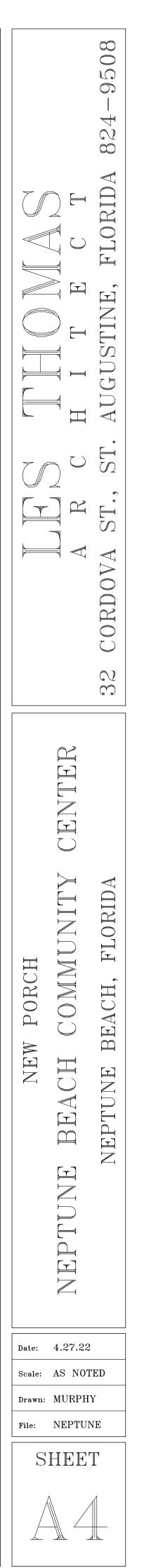
NOTE: CONTRACTOR/BUILDER SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION...

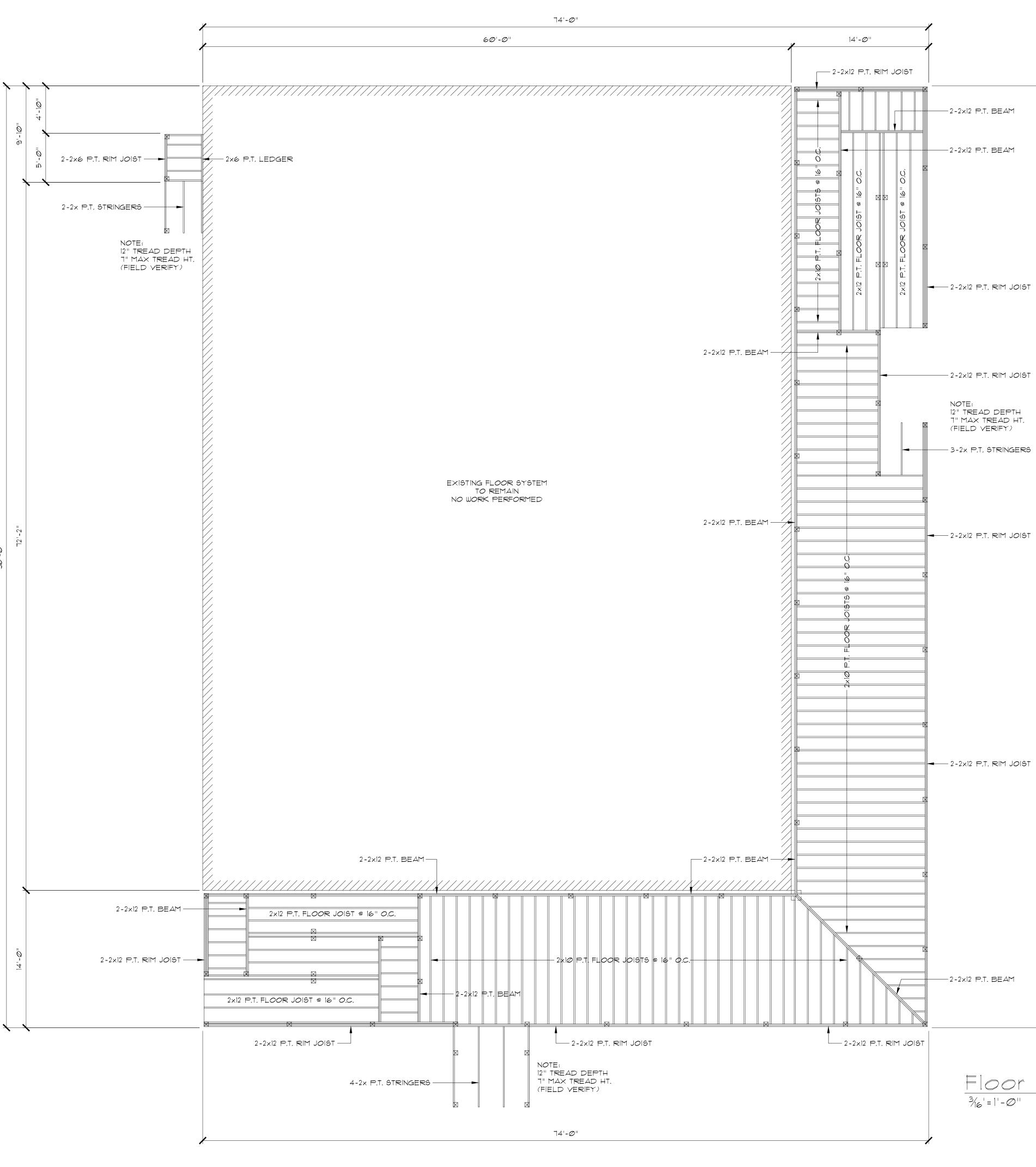


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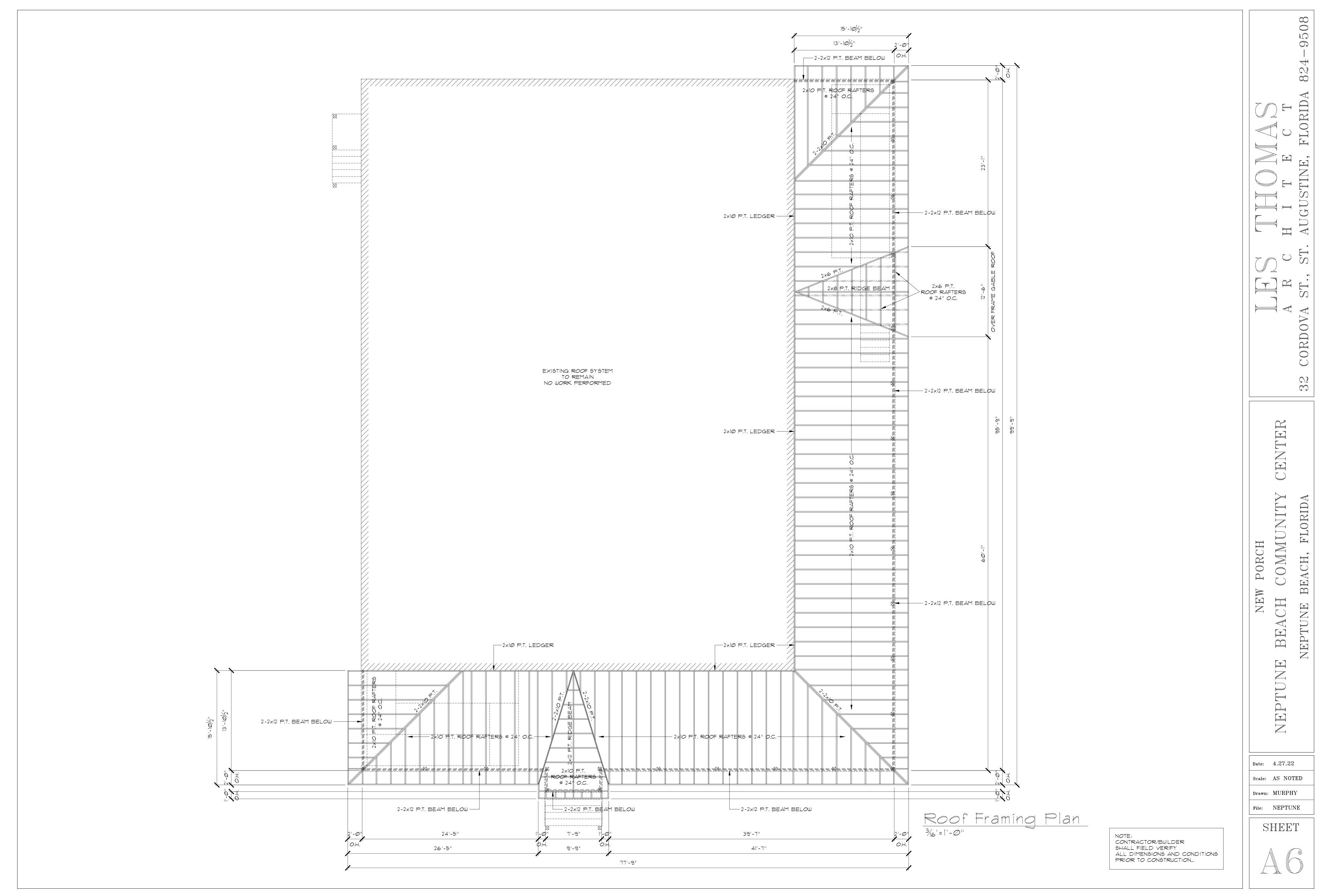
Floor Framing	Plan	
3/16' = 1' - 0''		NOTE: CONTRACTOR/BUILDER SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION

2-2×12 P.T. RIM JOIST

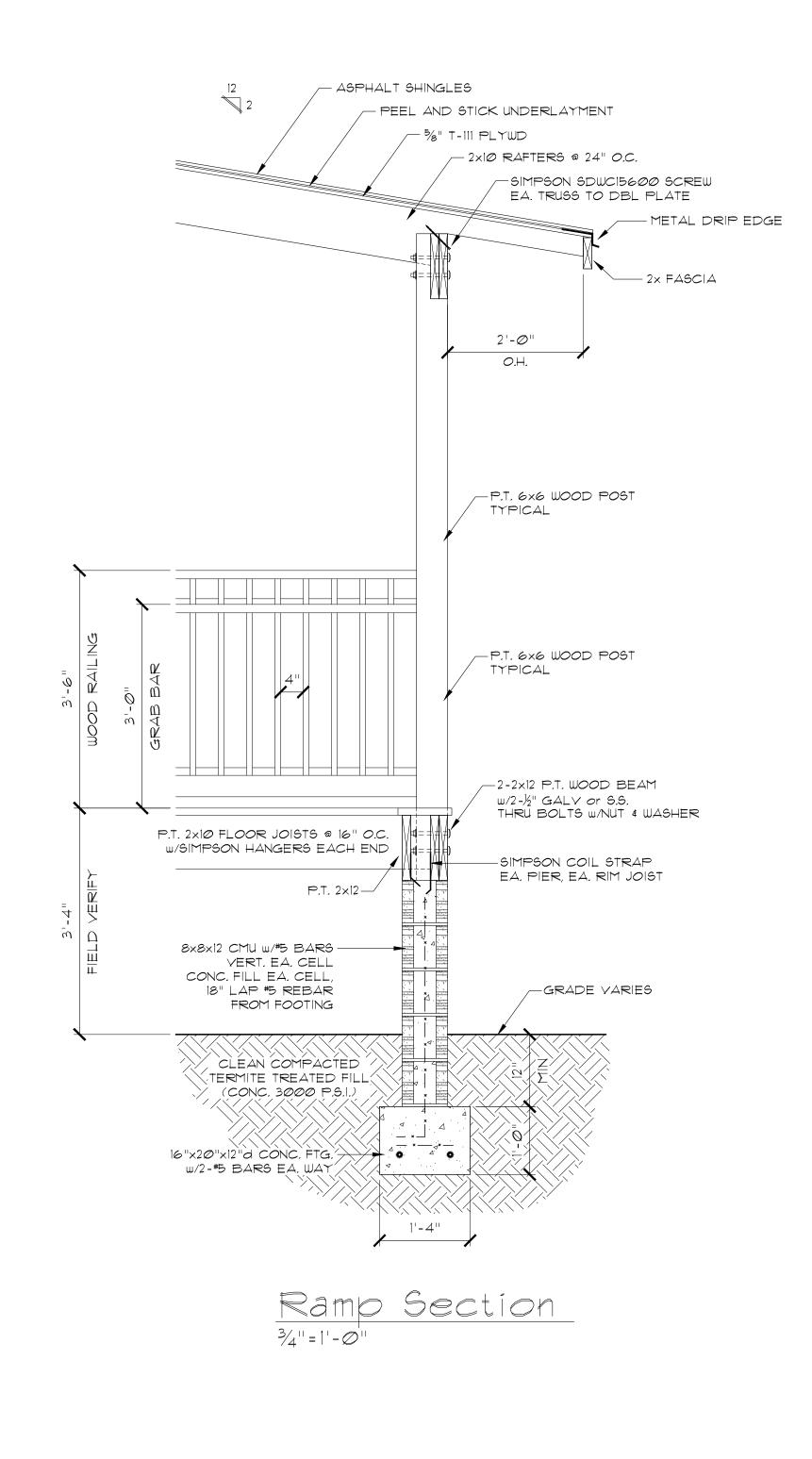
- 2-2×12 P.T. RIM JOIST 12" TREAD DEPTH T" MAX TREAD HT. (FIELD VERIFY)

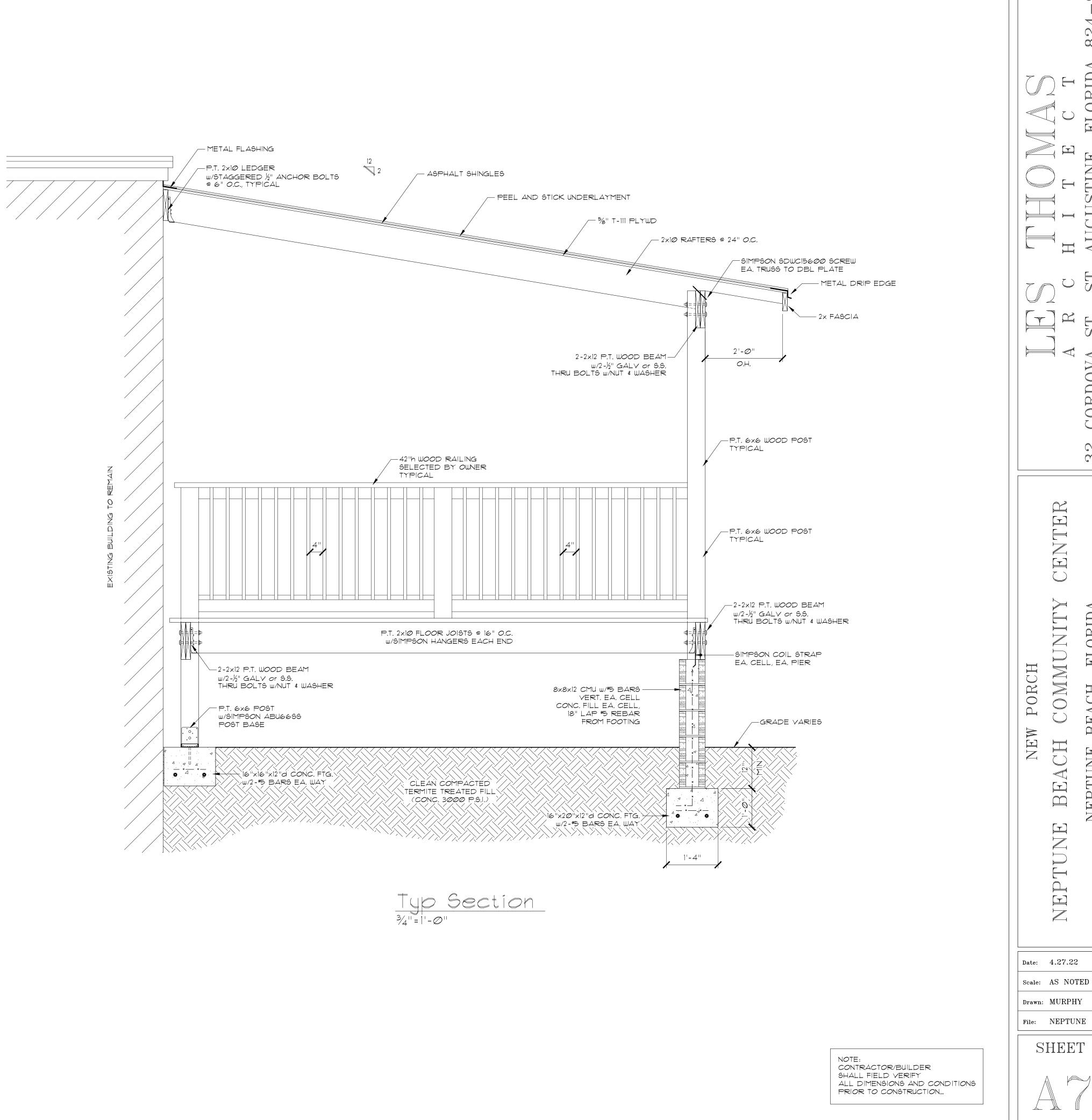
2-2×12 P.T. RIM JOIST

2-2×12 P.T. BEAM











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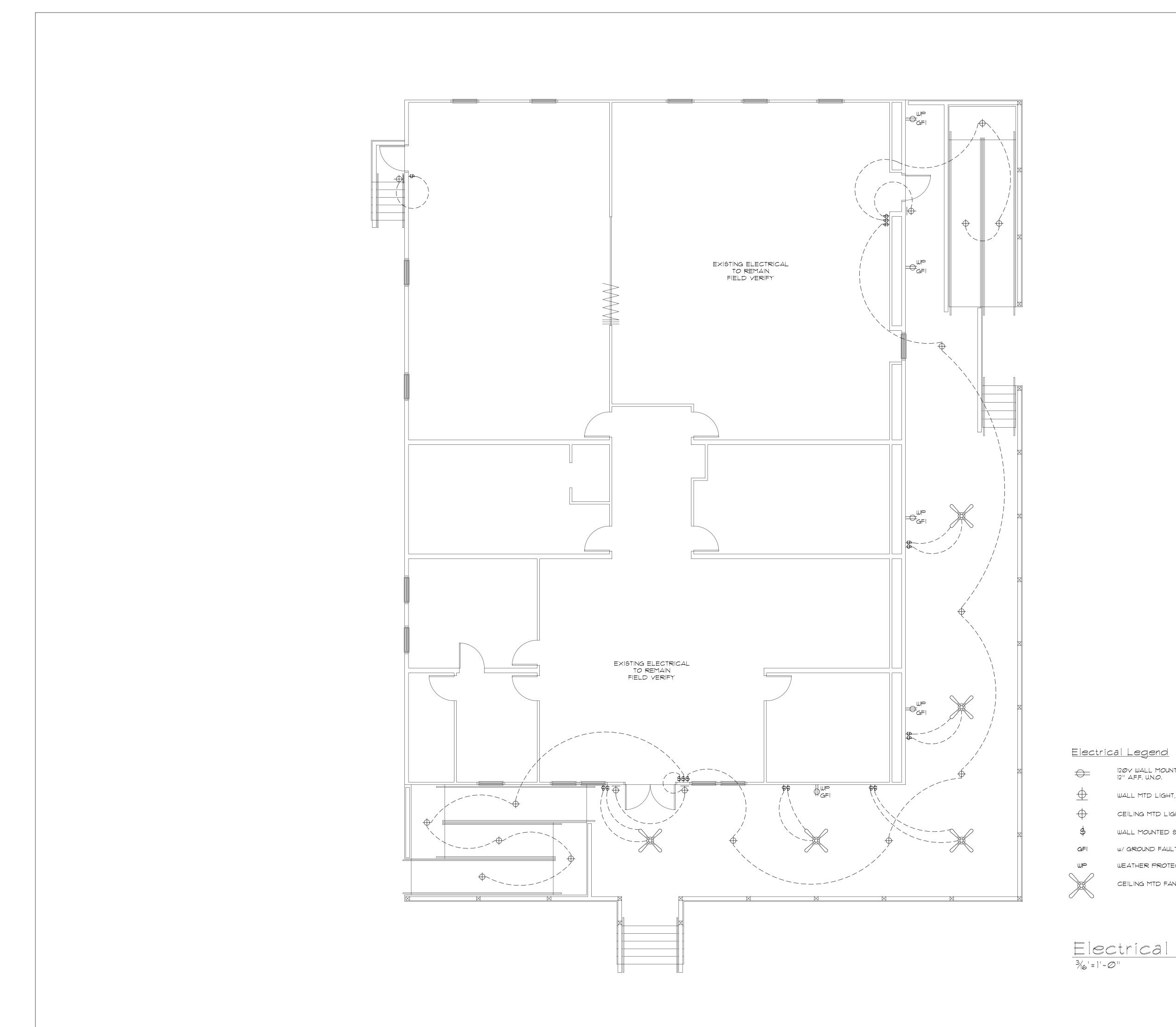
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Page 118 of 187

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Electrical	Plan

WALL MOUNTED SWITCH - 48" A.F.F. U.N.O
w/ GROUND FAULT INTERRUPTER
WEATHER PROTECTED
CEILING MTD FAN WITH LIGHT, SELECTED BY OWNER

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1207 WALL MOUNT DUPLEX RECEF 12" A.F.F. U.N.O.	PTACLE
WALL MTD LIGHT, SELECTED BY (OWNER
CEILING MTD LIGHT, SELECTED B	Y OWNER
WALL MOUNTED SWITCH - 48" A.F.F	=, U.N.O
w/ GROUND FAULT INTERRUPTER	

	A R C H I T E C T	32 CORDOVA ST., ST. AUGUSTINE, FLORIDA 824-9508		
NEW PORCH	NEPTUNE BEACH COMMUNITY CENTER	NEPTUNE BEACH, FLORIDA		
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Agenda Item #10A Server Upgrade

CITY OF NEPTUNE BEACH CITY COUNCIL MEETING STAFF REPORT

AGENDA ITEM:	Server replacement project			
SUBMITTED BY:	CIO Miklos Stoffel			
DATE:	April 28, 2022			
BACKGROUND:	The City of Neptune Beach has been implementing a new ERP system with Tyler technologies.			
	The City's IT infrastructure has to be upgraded to be compatible with the new systems.			
	The current Windows Server 2012 machines the domain controllers at the city hall, at the police station, at the public works and the SQL server at City Hall have been used since 2010 and they reached they end of life. Microsoft stops supporting them form Oct 10, 2023 which means that there won't be any security updates that would make the city's IT systems vulnerable and non compliant with the minimum security requirements. The police has to be compliant with all the federal and state requirements including CJIS (Criminal Justice Information System) and the FDLE (Florida Department of Law Enforcement). The city hall and public works has to be compliant with all the federal and local government, EPA and financial institutions requirements. To keep our city's data safe and to be compliant it is necessary to purchase four windows servers.			
BUDGET:	001-1112-512-60-64\$6,000 (City Manager's Budget)001-1112-512-60-64\$12,200 (Police Department Budget)001-1441-541-30-52\$12,200 (Public Works W&S Admin. Budget)001-1119-519-60-64\$21,000 (Non-Departmental Budget, CM to transferfrom 001-1119-519-30-46 and is ARPA eligible for Effective Service Delivery –Technology Infrastructure to improve access to and the user experience ofgovernment IT Systems) RECOMMENDATION: 2 nd Tranche of ARPA funding toreplenish amounts used for Servers.			
RECOMMENDATION:				
	Consider approval of four servers for upgrade to be compatible.			
ATTACHMENT:	Server prices and information			

$3 \times R640$ only Server \$ 12,064.25 = \$36,192.75 $1 \times R640$ Server + Sal \$ 14,550,25 \$ 14,550.25 \$ 50,743.00

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Server Quotes							
SHI/Dell		SHI/HP		Dell		HP	1
Dell PowerEdge R640	\$10.137.06	HPE ProLiant DL325	\$20,383.77	Dell PowerEdge R640	\$12,064.26	HPE ProLiant DL360	\$16,183.41
		HPE ProLiant DL360	\$13,700.29				1
Server with SQL Quot	es						1
SHI/Dell		SHI/HP		Dell		HP	3
Dell PowerEdge R640	\$12,474.40	HPE ProLiant DL360	\$14,344.82	Dell PowerEdge R640	\$14,550.25	HPE ProLiant DL360	1
Dell PowerEdge R740	\$14,511.09						a 20 20 20
PC Quotes							1 1 1
SHI/Dell		SHI/HP		Dell		HP	1
Dell OptiPlex 5090	\$1,004.07	HP Z2 G5 Workstation	1,128.45	OptiPlex 5090	\$1,095.49	HP Z2 G5 Workstatio	\$1,132.56
		HP ProDesk 405 G6 AMD	\$674.50				8

After reviewing the quotes my recommendation would be purchasing the Dell R640 servers and the Dell OptiPLex 5090 PCs form SHI.

See price quotes attached.

Vendor list:

SHI,

290 Davidson Avenue Somerset, NJ 08873

Alejandro (Alex) Cortes

Phone: (732) 652-0307

Email: Alejandro Cortes@SHI.com

Dell,

Dell Technologies | Infrastructure Solutions Group

Technical Sales Representative | Public - Florida

Direct: 512-513-9605

Email: Alan fong@Dell.com

CDWG,

Kimani Smith Account Representative | CDW•G 625 W. Adams St. | Chicago, IL 60661 Office: 312.705.8968 Fax: 312.705.7954 Email: <u>Kimasmi@cdwg.com</u>

Newegg Business

Azamat. A. Shah

Phone: (626) 271-1321 Ext:27267

Email: Azamat.A.Shah@neweggbusiness.com

Hewlett Packard,

Hunter Tubbs / Servers

SLED Inside Account Executive - Florida

HPE SLED Inside Sales Organization

Email: hunter.tubbs@hpe.com

Phone: 469.351.6782

Crystal Franks / PCs

Inside Sales Representative

MRA International

Phone: (732) 222-0997 Ext. 45 | Fax: (732) 229-8897 |

Email: c.franks@mrainternational.com |

Global Computer Sales,

Kaz Alidina

Email: kazim@globalcomputersales.com

Phone: (407) 634-4788

Server and PC replacement project for the City of Neptune Beach.

According to the government requirements to getting three price quotes with the same specifications I've requested proposals from the following companies:

SHI, Dell, HPe, HPi/MRA, CDWG, Newegg Business and CGS.

The exact list of the vendors and contacts is attached.

The proposals were requested with the below listed requirements:

Server specifications:

Intel chip

16 cores

16 GB RAM

2 TB hard drive

RAID 5

Windows server 2022 Standard 16 core license

Microsoft SQL Server 2019 16 core license

Installation / configuration service

Extended service agreement

PC specifications:

Windows 11 pro

6 core Intel processor

12 GB RAM

512 GB SSD drive

Dual monitor capable

Wi-Fi



A quote for your consideration

Based on your business needs, we put the following quote together to help with your purchase decision. Below is a detailed summary of the quote we've created to help you with your purchase decision.

To proceed with this quote, you may respond to this email, order online through your **Premier page**, or, if you do not have Premier, use this **Quote to Order**.

Quote No. Total Customer # Quoted On Expires by
Contract Name
Contract Code
Customer Agreement #
Solution ID

Message from your Sales Rep

3000107440722.3 \$12,064.26 121207849 Jan. 18, 2022 Feb. 17, 2022 Dell NASPO Computer Equipment PA - State of FL C000000010853 MNWNC-108 / 43211500-WSCA-15-ACS 15353756 Sales Rep Phone Email **Billing To** Alan Fong (800) 456-3355, 6179675 Alan_Fong@Dell.com ACCOUNTS PAYABLE CITY OF NEPTUNE BEACH DETECTIVE ADAM MILITELLO 200 LEMON ST NEPTUNE BEACH, FL 32266-5117

Please contact your Dell sales representative if you have any questions or when you're ready to place an order. Thank you for shopping with Dell!

Regards, Alan Fong

Shipping Group

Shipping To

Shipping Method Standard Delivery

MICHAEL KEY CITY OF NEPTUNE BEACH 200 LEMON ST NEPTUNE BEACH, FL 32266-5117 (904) 242-3435

Product	Unit Price	Quantity	Subtotal
PowerEdge R640 City Hall 1	\$12,064.26	1	\$12,064.26

Subtotal:	\$12,064.26
Shipping:	\$0.00
Environmental Fee:	\$0.00
Non-Taxable Amount:	\$12,064.26
Taxable Amount:	\$0.00
Estimated Tax:	\$0.00
Total:	\$12,064.26

Shipping Group Details

Shipping ToShipMICHAEL KEYStandCITY OF NEPTUNE BEACH200 LEMON STNEPTUNE BEACH, FL 32266-5117(904) 242-3435

Shipping Method Standard Delivery

			Quantity	Subtotal
PowerEdge R640 City Hall 1 Estimated delivery if purchased today: Feb. 07, 2022		\$12,064.26	1	\$12,064.26
Contract # C000000010853 Customer Agreement # MNWNC-108 / 43211500-WSCA-15-ACS				
Description	SKU	Unit Price	Quantity	Subtotal
PowerEdge R640 Server	210-AKWU	-	1	-
PowerEdge R640 MLK Motherboard	329-BEIJ	-	1	-
Trusted Platform Module 2.0 V3	461-AAIM	-	1	-
2.5 Chassis with up to 8 Hard Drives and 3PCIe slots PERC/HBA11	321-BHBQ	-	1	-
PowerEdge R640 Shipping	340-BKNE	-	1	-
PowerEdge R640 x8 Drive Shipping Material	340-COPS	-	1	-
PowerEdge R640 CCC and BIS Marking, No CE Marking	389-DSVJ	-	1	-
Intel Xeon Silver 4208 2.1G, 8C/16T, 9.6GT/s, 11M Cache, Turbo, HT (85W) DDR4-2400	338-BSWX	-	1	-
Intel Xeon Silver 4208 2.1G, 8C/16T, 9.6GT/s, 11M Cache, Turbo, HT (85W) DDR4-2400	338-BSWX	-	1	-
Additional Processor Selected	379-BDCO	-	1	-
DIMM Blanks for System with 2 Processors	370-ABWE	-	1	-
Standard 1U Heatsink	412-AAIQ	-	1	-
Standard 1U Heatsink	412-AAIQ	-	1	-
3200MT/s RDIMMs	370-AEVR	-	1	-
Performance Optimized	370-AAIP	-	1	-
RAID 5	780-BCDP	-	1	-
PERC H750 Adapter, Low Profile	405-ABCC	-	1	-
BOSS controller card + with 2 M.2 Sticks 240G (RAID 1),LP	403-BCHI	-	1	-
Windows Server 2022 Standard,16CORE,FI,No Med,No CAL, Multi Language	634-BYJY	-	1	-
Windows Server 2022 Standard,16CORE,Digitally Fulfilled Recovery Image, Multi Language	528-CSCP	-	1	-
Windows Server 2022 Standard,No Media,WS2019 Std Downgrade DF Media, Multi Language	528-CSCQ	-	1	-
Windows Server 2022 Standard,No Media, WS2019 Std Downgrade w/DVD Media,Multi Lang	634-BYLQ	-	1	-
OpenManage Enterprise Advanced	528-BIYY	-	1	-
iDRAC9 Datacenter 14G	528-CIBI	-	1	-
iDRAC Group Manager, Disabled	379-BCQY	-	1	-
iDRAC, Factory Generated Password	379-BCSF	-	1	-

IDRAC Service Module (ISM), Pre-Installed in OS 379-BCQW - 1 - Riser Config 2, 3x16 LP 330-BBGN - 1 - Breadcom 57416 Dual Port 10GbE BASE-T & 5720 Dual Port 1GbE 540-BBUK - 1 - Botaction 57416 Dual Port 10GbE BASE-T & 5720 Dual Port 1GbE 540-BBUK - 1 - B Standard Fans for R640 384-BRQJ - 1 - Dual, Hot-plug, Redundant Power Supply (1+1), 750W 450-AJSC - 1 - Dell EMC Luggage Tag 325-BCHG - 1 - Quick Syn 2 (At-the-box mgmt) 350-BBKC - 1 - Performance BIOS Settings 384-BBQL - 1 - USF BIOS Boot Mode with GPT Partition 800-BBDM 1 - - US Order 332-1286 - 1 - - Dell Hardware Limited Warranty Plus On-Site Service 813-9255 - 1 - OpenManage DVD Kit, Poweredge R640 631-ABKN - 1 - - US Order 332-1286 - 1 -<				Subtotal:	\$12,064.26 \$0.00
Riser Conflig 2, 3/16 LP 330-BBGN 1 Broadcom 57416 Dual Port 10GbE BASE-T & 5720 Dual Port 1GbE 540-BBUK 1 - BASE T, INDC 1 - - - No Internal Optical Drive for x4 and x8 HDD Chassis 429-ABBF - 1 - 8 Standard Fans for R640 384-BBQJ - 1 - Dual, Hot-plug, Redundant Power Supply (1+1), 750W 450-AJSC - 1 - LCD Bezel 325-BCHG - 1 - - Dell EMC Luggage Tag 350-BBKC - 1 - - Quick Sync 2 (At-the-box mgmt) 800-BBDM - 1 - - Performance BIOS Settings 384-BBBL - 1 -		450-AALV	-	2	
Riser Config 2, 3x16 L P330-BGN1Broadcom 57416 Dual Port 10GbE BASE-T & 5720 Dual Port 1GbE BASE-T, NDC540-BBUK1No Internal Optical Drive for x4 and x8 HDD Chassis429-ABBF18 Standard Fans for R640384-BBQJ11Dual, Hot-plug, Redundant Power Supply (1+1), 750W450-AJSC11LCD Bazel325-BCHG111Dell EMC Lugage Tag350-BBJS111Quick Sync 2 (At-the-box mgmt)350-BBKC111Performance BIOS Settings384-BBBL111UEFI BIOS Root Mode with GPT Partition800-BBDM111Quick Sync 2 (At-the-box mgmt)350-BBLS111Performance BIOS Settings384-BBBL111UEFI BIOS Root Mode with GPT Partition800-BBDM111Quendhanage DVD Kit, Poweredge R640631-ABKN111Dell Hardware Limited Warranty Plus On-Site Service813-9295111ProSupport Plus: Next Business Day On-Site Service After Problem Plagnosis, 3 Years813-9295111ProDeploy Plus Dell Server R Series 1U/2U - Deployment804-6751111ProDeploy Plus Dell Server R Series 1U/2U - Deployment Verification ProDeploy Plus Dell Server R Series 1U/2U - Deployment Verification 		634-BYKG	-	2	-
Riser Config 2, 3x16 LP 330-BBGN - 1 - Broadcom 57416 Dual Port 10GbE BASE-T & 5720 Dual Port 1GbE 540-BBUK - 1 - No Internal Optical Drive for x4 and x8 HDD Chassis 429-ABBF - 1 - 8 Standard Fans for R640 384-BBQJ - 1 - Dual, Hot-plug, Redundant Power Supply (1+1), 750W 450-AJSC - 1 - LCD Bezel 325-BCHG - 1 - - Quick Sync 2 (At-the-box mgmt) 350-BBJS - 1 - - Performance BIOS Settings 384-BBBL - 1 - - UEFI BIOS Boot Mode with GPT Partition 800-BBDM - 1 - - OpenManage DVD Kit, Poweredge R640 631-ABKN - 1 -		345-BCSW	-	4	-
Riser Config 2, 3x16 LP 330-BBGN - 1 - Broadcom 57416 Dual Port 10GbE BASE-T & 5720 Dual Port 1GbE 540-BBUK - 1 - No Internal Optical Drive for x4 and x8 HDD Chassis 429-ABBF - 1 - 8 Standard Fans for R640 384-BBQJ - 1 - Dual, Hot-plug, Redundant Power Supply (1+1), 750W 450-AJSC - 1 - LCD Bezel 325-BCHG - 1 - Dual, Kotyne 2 (At-the-box mgmt) 350-BBJS - 1 - Quick Syne 2 (At-the-box mgmt) 350-BBL - 1 - Performance BIOS Settings 384-BBBL - 1 - UEFI BIOS Boot Mode with GPT Partition 800-BBDM - 1 - No Grder 332-1286 - 1 - US Order 332-1286 - 1 - ProSupport Plus: Next Business Day On-Site Service 813-9295 - 1 - ProSupport Plus: Next Business Day On-Site Service After Problem Diagnosis, 3 Years 813-9296 1 - - <	16GB RDIMM, 3200MT/s, Dual Rank	370-AEVQ	-	2	-
Riser Config 2, 3x16 L 330-BBGN - 1 Broadcom 57416 Dual Port 10GbE BASE-T & 5720 Dual Port 1GbE 540-BBUK - 1 - No Internal Optical Drive for x4 and x8 HDD Chassis 429-ABBF - 1 - 8 Standard Fans for R640 384-BBQJ - 1 - Dual, Hot-plug, Redundant Power Supply (1+1), 750W 450-AJSC - 1 - LCD Bazel 325-BCHG - 1 - - Quick Sync 2 (At-the-box mgmt) 350-BBKC - 1 - - Performance BIOS Settings 384-BBBL - 1 - - - UEFI BIOS Boot Mode with GPT Partition 800-BBDM - 1 -	ProDeploy Plus Training 300	812-4005	-	· 1	-
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Riser Config 2, 3x16 LP330-BBGN-1-Broadcom 57416 Dual Port 10GbE BASE-T & 5720 Dual Port 1GbE BASE-T, NDC540-BBUK-1-No Internal Optical Drive for x4 and x8 HDD Chassis429-ABBF-1-8 Standard Fans for R640384-BBQJ-1-Dual, Hot-plug, Redundant Power Supply (1+1), 750W450-AJSC-1-LCD Bezel325-BCHG-1-Dell EMC Luggage Tag350-BBJS-1-Quick Sync 2 (At-the-box mgmt)350-BBKC-1-Performance BIOS Settings384-BBBL-1-UEFI BIOS Boot Mode with GPT Partition800-BBDM-1-Quord Raige Nuble Cable Management Arm770-BBBL-1-US Order332-1286-1Dell Hardware Limited Warranty Plus On-Site Service813-9255-1-ProSupport Plus: Next Business Day On-Site Service After Problem Diagnosis, 3 Years-1-ProSupport Plus: 7x24 HW/SW Technical Support and Assistance, 3813-9295-1-		951-2015	-	1	-
Riser Config 2, 3x16 LP330-BBGN1-Broadcom 57416 Dual Port 10GbE BASE-T & 5720 Dual Port 1GbE BASE-T, tNDC540-BBUK1-No Internal Optical Drive for x4 and x8 HDD Chassis429-ABBF-1-8 Standard Fans for R640384-BBQJ-1-Dual, Hot-plug, Redundant Power Supply (1+1), 750W450-AJSC-1-LCD Bezel325-BCHG-1-Dell EMC Luggage Tag350-BBJS-1-Quick Sync 2 (At-the-box mgmt)350-BBKC-1-Performance BIOS Settings384-BBBL-1-UEFI BIOS Boot Mode with GPT Partition800-BBDM-1-Querd Nanage DVD Kit, Poweredge R640631-ABKN-1-US Order332-1286-1Performance Limited Warranty Plus On-Site Service813-9255-1-ProSupport Plus: Next Business Day On-Site Service813-9255-1-		813-9296	-	1	-
Riser Config 2, 3x16 LP330-BBGN-1-Broadcom 57416 Dual Port 10GbE BASE-T & 5720 Dual Port 1GBE BASE-T, rNDC540-BBUK1-No Internal Optical Drive for x4 and x8 HDD Chassis429-ABBF-1-8 Standard Fans for R640384-BBQJ-1-Dual, Hot-plug, Redundant Power Supply (1+1), 750W450-AJSC-1-LCD Bezel325-BCHG-1-Dell EMC Luggage Tag350-BBJS-1-Quick Sync 2 (At-the-box mgmt)350-BBKC-1-Performance BIOS Settings384-BBBL-1-ReadyRails Sliding Rails With Cable Management Arm770-BBBL-1-OpenManage DVD Kit, Poweredge R640631-ABKN-1-US Order332-1286-1-		813-9295	-	1	-
Riser Config 2, 3x16 LP330-BBGN1-Broadcom 57416 Dual Port 10GbE BASE-T & 5720 Dual Port 1GbE BASE-T, rNDC540-BBUK1-No Internal Optical Drive for x4 and x8 HDD Chassis429-ABBF-1-8 Standard Fans for R640384-BBQJ-1-Dual, Hot-plug, Redundant Power Supply (1+1), 750W450-AJSC-1-CD Bezel325-BCHG-1-Dell EMC Luggage Tag350-BBJS-1-Quick Sync 2 (At-the-box mgmt)350-BBKC-1-Performance BIOS Settings384-BBBL-1-UEFI BIOS Boot Mode with GPT Partition800-BBDM-1-ReadyRails Sliding Rails With Cable Management Arm770-BBBL-1-OpenManage DVD Kit, Poweredge R640631-ABKN-1	Dell Hardware Limited Warranty Plus On-Site Service	813-9255		· 1	-
Riser Config 2, 3x16 LP330-BBGN1-Broadcom 57416 Dual Port 10GbE BASE-T & 5720 Dual Port 1GbE BASE-T, rNDC540-BBUK1-No Internal Optical Drive for x4 and x8 HDD Chassis429-ABBF-1-8 Standard Fans for R640384-BBQJ-1-Dual, Hot-plug, Redundant Power Supply (1+1), 750W450-AJSC-1-LCD Bezel325-BCHG-1-Dell EMC Luggage Tag350-BBJS-1-Quick Sync 2 (At-the-box mgmt)350-BBKC-1-Performance BIOS Settings384-BBBL-1-UEFI BIOS Boot Mode with GPT Partition800-BBDM-1-ReadyRails Sliding Rails With Cable Management Arm770-BBBL-1-	US Order	332-1286	-	· 1	-
Riser Config 2, 3x16 LP330-BBGN1-Broadcom 57416 Dual Port 10GbE BASE-T & 5720 Dual Port 1GbE BASE-T, rNDC540-BBUK1-No Internal Optical Drive for x4 and x8 HDD Chassis429-ABBF-1-8 Standard Fans for R640384-BBQJ-1-Dual, Hot-plug, Redundant Power Supply (1+1), 750W450-AJSC-1-LCD Bezel325-BCHG-1-Dell EMC Luggage Tag350-BBJS-1-Quick Sync 2 (At-the-box mgmt)350-BBKC-1-Performance BIOS Settings384-BBBL-1-UEFI BIOS Boot Mode with GPT Partition800-BBDM-1-	OpenManage DVD Kit,Poweredge R640	631-ABKN	-	- 1	-
Riser Config 2, 3x16 LP330-BBGN-1-Broadcom 57416 Dual Port 10GbE BASE-T & 5720 Dual Port 1GbE540-BBUK-1-No Internal Optical Drive for x4 and x8 HDD Chassis429-ABBF-1-8 Standard Fans for R640384-BBQJ-1-Dual, Hot-plug, Redundant Power Supply (1+1), 750W450-AJSC-1-LCD Bezel325-BCHG-1-Dell EMC Luggage Tag350-BBJS-1-Quick Sync 2 (At-the-box mgmt)350-BBKC-1-Performance BIOS Settings384-BBBL-1-	ReadyRails Sliding Rails With Cable Management Arm	770-BBBL		· 1	-
Riser Config 2, 3x16 LP330-BBGN1-Broadcom 57416 Dual Port 10GbE BASE-T & 5720 Dual Port 1GbE BASE-T, rNDC540-BBUK1-No Internal Optical Drive for x4 and x8 HDD Chassis429-ABBF-1-8 Standard Fans for R640384-BBQJ-1-Dual, Hot-plug, Redundant Power Supply (1+1), 750W450-AJSC-1-LCD Bezel325-BCHG-1-Dell EMC Luggage Tag350-BBJS-1-Quick Sync 2 (At-the-box mgmt)350-BBKC-1-	UEFI BIOS Boot Mode with GPT Partition	800-BBDM		· 1	-
Riser Config 2, 3x16 LP330-BBGN-1-Broadcom 57416 Dual Port 10GbE BASE-T & 5720 Dual Port 1GbE BASE-T, rNDC540-BBUK1-No Internal Optical Drive for x4 and x8 HDD Chassis429-ABBF-1-8 Standard Fans for R640384-BBQJ-1-Dual, Hot-plug, Redundant Power Supply (1+1), 750W450-AJSC-1-LCD Bezel325-BCHG-1-Dell EMC Luggage Tag350-BBJS-1-	Performance BIOS Settings	384-BBBL		- 1	-
Riser Config 2, 3x16 LP330-BBGN-1-Broadcom 57416 Dual Port 10GbE BASE-T & 5720 Dual Port 1GbE BASE-T, rNDC540-BBUK-1-No Internal Optical Drive for x4 and x8 HDD Chassis429-ABBF-1-8 Standard Fans for R640384-BBQJ-1-Dual, Hot-plug, Redundant Power Supply (1+1), 750W450-AJSC-1-LCD Bezel325-BCHG-1-	Quick Sync 2 (At-the-box mgmt)	350-BBKC	-	- 1	-
Riser Config 2, 3x16 LP330-BBGN-1-Broadcom 57416 Dual Port 10GbE BASE-T & 5720 Dual Port 1GbE BASE-T, rNDC540-BBUK1-No Internal Optical Drive for x4 and x8 HDD Chassis429-ABBF-1-8 Standard Fans for R640384-BBQJ-1-Dual, Hot-plug, Redundant Power Supply (1+1), 750W450-AJSC-1-	Dell EMC Luggage Tag	350-BBJS		• 1	-
Riser Config 2, 3x16 LP330-BBGN-1-Broadcom 57416 Dual Port 10GbE BASE-T & 5720 Dual Port 1GbE BASE-T, rNDC540-BBUK1-No Internal Optical Drive for x4 and x8 HDD Chassis429-ABBF-1-8 Standard Fans for R640384-BBQJ-1-	LCD Bezel	325-BCHG		- 1	-
Riser Config 2, 3x16 LP330-BBGN-1-Broadcom 57416 Dual Port 10GbE BASE-T & 5720 Dual Port 1GbE BASE-T, rNDC540-BBUK-1-No Internal Optical Drive for x4 and x8 HDD Chassis429-ABBF-1-	Dual, Hot-plug, Redundant Power Supply (1+1), 750W	450-AJSC		• 1	-
Riser Config 2, 3x16 LP330-BBGN-1-Broadcom 57416 Dual Port 10GbE BASE-T & 5720 Dual Port 1GbE BASE-T, rNDC540-BBUK-1-	8 Standard Fans for R640	384-BBQJ		- 1	-
Riser Config 2, 3x16 LP 330-BBGN - 1 - Broadcom 57416 Dual Port 10GbE BASE-T & 5720 Dual Port 1GbE 540 BBUK - 1	No Internal Optical Drive for x4 and x8 HDD Chassis	429-ABBF		- 1	-
		540-BBUK		- 1	-
iDRAC Service Module (ISM), Pre-Installed in OS 379-BCQW - 1 -	Riser Config 2, 3x16 LP	330-BBGN		- 1	-
	iDRAC Service Module (ISM), Pre-Installed in OS	379-BCQW		- 1	-

Estimated Tax:	\$0.00
Total:	\$12,064.26
Environmental Fee:	\$0.00
Estimated Tax:	\$0.00
Shipping:	\$0.00
Subtotal:	\$12,064.26

Important Notes

Terms of Sale

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Governing Terms: This Quote is subject to: (a) a separate written agreement between Customer or Customer's affiliate and Supplier or a Supplier's affiliate to the extent that it expressly applies to the products and/or services in this Quote or, to the extent there is no such agreement, to the applicable set of Dell's Terms of Sale (available at www.dell.com/terms or www.dell.com/oemterms), or for cloud/as-a-Service offerings, the applicable cloud terms of service (identified on the Offer Specific Terms referenced below); and (b) the terms referenced herein (collectively, the "Governing Terms"). Different Governing Terms may apply to different products and services on this Quote. The Governing Terms apply to the exclusion of all terms and conditions incorporated in or referred to in any documentation submitted by Customer to Supplier.

Supplier Software Licenses and Services Descriptions: Customer's use of any Supplier software is subject to the license terms accompanying the software, or in the absence of accompanying terms, the applicable terms posted on www.Dell.com/eula. Descriptions and terms for Supplier-branded standard services are stated at www.dell.com/servicecontracts/global or for certain infrastructure products at www.dellemc.com/en-us/customer-services/product-warranty-and-service-descriptions.htm.

Offer-Specific, Third Party and Program Specific Terms: Customer's use of third-party software is subject to the license terms that accompany the software. Certain Supplier-branded and third-party products and services listed on this Quote are subject to additional, specific terms stated on www.dell.com/offeringspecificterms ("Offer Specific Terms").

In case of Resale only: Should Customer procure any products or services for resale, whether on standalone basis or as part of a solution, Customer shall include the applicable software license terms, services terms, and/or offer-specific terms in a written agreement with the enduser and provide written evidence of doing so upon receipt of request from Supplier.

In case of Financing only: If Customer intends to enter into a financing arrangement ("Financing Agreement") for the products and/or services on this Quote with Dell Financial Services LLC or other funding source pre-approved by Supplier ("FS"), Customer may issue its purchase order to Supplier or to FS. If issued to FS, Supplier will fulfill and invoice FS upon confirmation that: (a) FS intends to enter into a Financing Agreement with Customer for this order; and (b) FS agrees to procure these items from Supplier. Notwithstanding the Financing Agreement, Customer's use (and Customer's resale of and the end-user's use) of these items in the order is subject to the applicable governing agreement between Customer and Supplier, except that title shall transfer from Supplier to FS instead of to Customer. If FS notifies Supplier after shipment that Customer is no longer pursuing a Financing Agreement for these items, or if Customer fails to enter into such Financing Agreement within 120 days after shipment by Supplier, Customer shall promptly pay the Supplier invoice amounts directly to Supplier.

Customer represents that this transaction does not involve: (a) use of U.S. Government funds; (b) use by or resale to the U.S. Government; or (c) maintenance and support of the product(s) listed in this document within classified spaces. Customer further represents that this transaction does not require Supplier's compliance with any statute, regulation or information technology standard applicable to a U.S. Government procurement.

For certain products shipped to end users in California, a State Environmental Fee will be applied to Customer's invoice. Supplier encourages customers to dispose of electronic equipment properly.

Electronically linked terms and descriptions are available in hard copy upon request.

^Dell Business Credit (DBC):

OFFER VARIES BY CREDITWORTHINESS AS DETERMINED BY LENDER. Offered by WebBank to Small and Medium Business customers with approved credit. Taxes, shipping and other charges are extra and vary. Minimum monthly payments are the greater of \$15 or 3% of account balance. Dell Business Credit is not offered to government or public entities, or business entities located and organized outside of the United States.



A quote for your consideration

Based on your business needs, we put the following quote together to help with your purchase decision. Below is a detailed summary of the quote we've created to help you with your purchase decision.

To proceed with this quote, you may respond to this email, order online through your **Premier page**, or, if you do not have Premier, use this **Quote to Order**.

Quote No. Total Customer # Quoted On Expires by Contract Name Contract Code Customer Agreement # Solution ID

Message from your Sales Rep

\$14,550.25 121207849 Jan. 18, 2022 Feb. 17, 2022 Dell NASPO Computer Equipment PA - State of FL C000000010853 MNWNC-108 / 43211500-WSCA-15-ACS 15353756

3000107440723.3

Sales Rep Phone Email **Billing To** Alan Fong (800) 456-3355, 6179675 Alan_Fong@Dell.com ACCOUNTS PAYABLE CITY OF NEPTUNE BEACH DETECTIVE ADAM MILITELLO 200 LEMON ST NEPTUNE BEACH, FL 32266-5117

Please contact your Dell sales representative if you have any questions or when you're ready to place an order. Thank you for shopping with Dell!

Regards, Alan Fong

Page 1

Shipping Group

Product	Unit Price	Quantity	Subtotal
PowerEdge R640 City Hall 2 with 10 SQL CALs	\$14,550.25	1	\$14,550.25

Subtotal:	\$14,550.25
Shipping:	\$0.00
Environmental Fee:	\$0.00
Non-Taxable Amount:	\$14,550.25
Taxable Amount:	\$0.00
Estimated Tax:	\$0.00
Total:	\$14,550.25

Shipping Group Details

(904) 242-3435

Shipping To Shipping Method MICHAEL KEY Standard Delivery CITY OF NEPTUNE BEACH 200 LEMON ST NEPTUNE BEACH, FL 32266-5117

PowerEdge R640 City Hall 2 with 10 SQL CALs Estimated delivery if purchased today: Feb. 07, 2022		\$14,550.25	Quantity 1	Subtotal \$14,550.25
Contract				
Description	SKU	Unit Price	Quantity	Subtotal
PowerEdge R640 Server	210-AKWU	-	1	-
PowerEdge R640 MLK Motherboard	329-BEIJ	-	1	-
Trusted Platform Module 2.0 V3	461-AAIM	-	1	-
2.5 Chassis with up to 8 Hard Drives and 3PCIe slots PERC/HBA11	321-BHBQ	-	1	-
PowerEdge R640 Shipping	340-BKNE	-	1	-
PowerEdge R640 x8 Drive Shipping Material	340-COPS	-	1	-
PowerEdge R640 CCC and BIS Marking, No CE Marking	389-DSVJ	-	1	-
ntel Xeon Silver 4208 2.1G, 8C/16T, 9.6GT/s, 11M Cache, Turbo, HT (85W) DDR4-2400	338-BSWX	-	1	-
ntel Xeon Silver 4208 2.1G, 8C/16T, 9.6GT/s, 11M Cache, Turbo, HT 85W) DDR4-2400	338-BSWX	-	1	
Additional Processor Selected	379-BDCO	-	1	-
DIMM Blanks for System with 2 Processors	370-ABWE	-	1	-
Standard 1U Heatsink	412-AAIQ	-	1	-
Standard 1U Heatsink	412-AAIQ	-	1	-
3200MT/s RDIMMs	370-AEVR	-	1	-
Performance Optimized	370-AAIP	-	1	-
RAID 5	780-BCDP	-	1	-
PERC H750 Adapter, Low Profile	405-ABCC	-	1	-
3OSS controller card + with 2 M.2 Sticks 240G (RAID 1),LP	403-BCHI	-	1	-
Vindows Server 2022 Standard,16CORE,FI,No Med,No CAL, Multi .anguage	634-BYJY	-	1	-
Vindows Server 2022 Standard,16CORE,Digitally Fulfilled Recovery mage, Multi Language	528-CSCP	-	1	-
Vindows Server 2022 Standard,No Media,WS2019 Std Downgrade DF Media, Multi Language	528-CSCQ	-	1	-
Vindows Server 2022 Standard,No Media, WS2019 Std Downgrade v/DVD Media,Multi Lang	634-BYLQ	-	1	-
DpenManage Enterprise Advanced	528-BIYY	-	1	-
DRAC9 Datacenter 14G	528-CIBI	-	1	-
DRAC Group Manager, Disabled	379-BCQY	-	1	-
DRAC, Factory Generated Password	379-BCSF	-	1	-

Page 3 Dell Marketing LP. U.S. only. Dell Marketing LP. is located at One Dell Way, Mail Stop 8129, Round Rock, TX 78682

			Subtotal: Shipping:	\$14,550.25 \$0.00
Power Cord - C13, 3M, 125V, 15A (North America, Guam, North Marianas, Philippines, Samoa, Vietnam)	450-AALV		2	-
10-pack of Windows Server 2022/2019 User CALs (Standard or Datacenter)	634-BYKG	-	2	-
Microsoft SQL Server 2019 Standard, 5 USER CALs Only OEM, No Media, NFI	634-BUWW	-	1	-
1.92TB SSD vSAS Read Intensive 12Gbps 512e 2.5in Hot-Plug ,AG Drive SED, 1DWPD,	345-BCSW	-	4	-
16GB RDIMM, 3200MT/s, Dual Rank	370-AEVQ	-	2	-
ProDeploy Plus Training 300	812-4005	-	1	-
ProDeploy Plus Dell Server R Series 1U/2U - Deployment Verification	n 804-6751	-	1	-
ProDeploy Plus Dell Server R Series 1U/2U - Deployment	804-6750	-	1	-
Thank you for choosing Dell ProSupport Plus. For tech support, visit //www.dell.com/contactdell	951-2015	-	1	-
ProSupport Plus: 7x24 HW/SW Technical Support and Assistance, 3 Years	813-9296	-	1	-
ProSupport Plus: Next Business Day On-Site Service After Problem Diagnosis, 3 Years	813-9295	-	1	-
Dell Hardware Limited Warranty Plus On-Site Service	813-9255	-	1	-
US Order	332-1286	-	1	-
Microsoft SQL Server 2019 Standard,OEM, Incl. 5 USER CALs, NFI with SQL2017/2016 DWGD Media,ENGLISH	634-BUWT	-	1	-
OpenManage DVD Kit,Poweredge R640	631-ABKN	-	1	-
ReadyRails Sliding Rails With Cable Management Arm	770-BBBL	-	1	-
UEFI BIOS Boot Mode with GPT Partition	800-BBDM	-	1	-
Performance BIOS Settings	384-BBBL	-	- 1	-
Quick Sync 2 (At-the-box mgmt)	350-BBKC	-	· 1	-
Dell EMC Luggage Tag	350-BBJS	-	• 1	-
LCD Bezel	325-BCHG	-	· 1	-
Dual, Hot-plug, Redundant Power Supply (1+1), 750W	450-AJSC	-	. 1	-
8 Standard Fans for R640	384-BBQJ	-	- 1	-
No Internal Optical Drive for x4 and x8 HDD Chassis	429-ABBF	-	· 1	-
Broadcom 57416 Dual Port 10GbE BASE-T & 5720 Dual Port 1GbE BASE-T, rNDC	540-BBUK		1	-
Riser Config 2, 3x16 LP	330-BBGN		• 1	-
iDRAC Service Module (ISM), Pre-Installed in OS	379-BCQW		· 1	-

Total:	\$14,550.25
Estimated Tax:	\$0.00
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*Dell Business Credit (DBC):

Page 5

OFFER VARIES BY CREDITWORTHINESS AS DETERMINED BY LENDER. Offered by WebBank to Small and Medium Business customers with approved credit. Taxes, shipping and other charges are extra and vary. Minimum monthly payments are the greater of \$15 or 3% of account balance. Dell Business Credit is not offered to government or public entities, or business entities located and organized outside of the United States.

(Shi	Quota	g Proposal tion #: 2116436 ed On: 10/21/20 Until: 10/29/20)21
CI	TY OF NEPTUNE BEACH		de Account cutive	
116 I ATT Nep Unite		300 D Somer Phone Fax:	ndro Cortes avidson Avenue set, NJ 08873 : 800-527-6389 EX alejandro_cortes	
All P	Product USD)	Qty	Your Price	Total
1	HPE ProLiant DL20 Gen10 solution - Server - rack-mountable - 1U - 1-way - 1 x Xeon E-2236 / 3.4 GHz - RAM 16 GB - SATA - hot-swap 2.5" bay(s) - no HDD - Matrox G200 - GigE - monitor: none Hewlett Packard Enterprise - Part#: P17081-B21 Note: Hardware; In Stock	3	\$1,367.01	\$4,101.03
2	HPE Standard Memory - DDR4 - module - 16 GB - DIMM 288-pin - 2666 MHz / PC4- 21300 - CL19 - 1.2 V - unbuffered - ECC Hewlett Packard Enterprise - Part#: 879507-B21 Note: Hardware; In Stock	3	\$227.49	\$682.47
3	HPE Smart Array E208i-a SR Gen10 - Storage controller (RAID) with low profile heatsink - 8 Channel - SATA 6Gb/s / SAS 12Gb/s - 12 Gbit/s - RAID 0, 1, 5, 10 - PCIe 3.0 x8 - for Apollo 4200 Gen10; ProLiant DL360 Gen10 Hewlett Packard Enterprise - Part#: 869079-B21 Note: Hardware; In Stock	3	\$309.94	\$929.82
4	Microsoft Windows Server 2019 Standard Edition - License - 16 cores - OEM - ROK - DVD - BIOS-locked (Hewlett Packard Enterprise), Microsoft Certificate of Authenticity (COA) - English - Worldwide Hewlett Packard Enterprise - Part#: P11058-B21 Note: Hardware; In Stock	3	\$747.74	\$2,243.22
5	HPE Integrated Lights-Out Advanced - License + 3 Years 24x7 Support - 1 server - electronic - for ProLiant DL160 Gen10, DL180 Gen10, DL20 Gen10, XL170r Gen9, XL190r Gen9, XL2x260 Hewlett Packard Enterprise - Part#: E6U64ABE Note: Software; ESD; 3 Yr 24x7 Support	3	\$258.79	\$776.37
6	HPE - Power supply - hot-plug / redundant (plug-in module) - Flex Slot - 80 PLUS Platinum - AC 100-240 V - 500 Watt - 563 VA Hewlett Packard Enterprise - Part#: 865408-B21 Note: Hardware; In Stock	3	\$139.08	\$417.24
7	HPE M.2 SATA/LFF AROC Cable Kit - SATA cable kit - for ProLiant DL20 Gen10,	3	\$36.84	\$110.52

1

Shi	Pricing Proposal Quotation #: 21178257 Created On: 10/25/2021 Valid Until: 10/29/2021			
CITY OF NEPTUNE BEACH		de Account cutive		
Miklos Stoffel 116 FIRST STREET ATTN: A/P Neptune Beach, FL 32266 United States Phone: (904) 270-2400 Fax: Email: cio@nbfl.us	300 Da Somer Phone Fax:	ndro Cortes avidson Avenue set, NJ 08873 : 800-527-6389 EX alejandro_cortes		
All Prices are in US Dollar (USD) Product	Qty	Your Price	Total	
1 PowerEdge R740 Dell - Part#: 3000102773396.1 Contract Name: NASPO Computer Equipment Contract #: MNWNC-108 Subcontract #: 80AHD Note: Hardware; ETA 4 Weeks	3	\$14,511.09	\$43,533.27	
		Total	\$43,533.27	

Additional Comments

Hardware items on this quote may be updated to reflect changes due to industry wide constraints and fluctuations.

Please note, if Emergency Connectivity Funds (ECF) will be used to pay for all or part of this quote, please let us know as we will need to ensure compliance with the funding program.

Thank you for choosing SHI International Corp! The pricing offered on this quote proposal is valid through the expiration date set above. To ensure the best level of service, please provide End User Name, Phone Number, Email Address and applicable Contract Number when submitting a Purchase Order.

SHI International Corp. is 100% Minority Owned, Woman Owned Business. TAX ID# 22-3009648; DUNS# 61-1429481; CCR# 61-243957G; CAGE 1HTF0

The products offered under this proposal are resold in accordance with the terms and conditions of the Contract referenced under that applicable line item.

Enterprise
ett Packard

SHOP

Why HPE Products Support Contact

4

1

Promotions Services SMB Solutions Options Software Networking Storage Servers and Systems Home

Back to Shop / Servers / ProLiant DL Servers / ProLiant DL20 Servers / HPE ProLiant DL20 Gen10 server

1H2 Win 2019

	HPE ProLiant DL20 Gen10 server	
	Are you looking for a compact 1U server that supports workloads in a variety of environments?	a variety of
	The <u>HPE ProLiant DL20 Gen10 server</u> delivers a compact and versatile server	tile server
	Show More QuickSpecs 🗸	>
	Starting at \$933.99 ⊕ or Chat with a product advisor →	ct advisor 🔶
	As low as \$24/mo with HPEFS 🚰 Offered by HPE Reseller	
lmage may differ from actual product		
+ Show More		

(

🔅 Services

📚 Additional Resources

🚯 Features

Base Models

🖉 Solutions / Configure

Page 135 of 187



CITY OF NEPTUNE BEACH

Pricing Proposal Quotation #: 21280223 Created On: 11/17/2021 Valid Until: 11/30/2021

Inside Account Executive

				and the second se		
116 ATT Nep Unit		300 Da Somer Phone Fax:	Alejandro Cortes 300 Davidson Avenue Somerset, NJ 08873 Phone: 800-527-6389 EXT 652-0307 Fax: Email: alejandro_cortes@shi.com		300 Davidson Avenue Somerset, NJ 08873 Phone: 800-527-6389 EXT 652-0307 Fax:	
All F	Prices are in US Dollar (USD)					
	Product	Qty	Your Price	Total		
1	PowerEdge R640 Dell - Part#: 3000105734872.1 Contract Name: NASPO Computer Equipment Contract #: MNWNC-108 Subcontract #: 80AHD Note: Hardware; ETA 4 Weeks; City Hall	1	\$10,137.06	\$10,137.06		
2	PowerEdge R640 with 10 SQL CALs Dell - Part#: 3000105734873.1 Contract Name: NASPO Computer Equipment Contract #: MNWNC-108 Subcontract #: 80AHD Note: Hardware; ETA 4 Weeks; City Hall	1	\$12,474.40	\$12,474.40		
3	PowerEdge R640 Dell - Part#: 3000105734874.1 Contract Name: NASPO Computer Equipment Contract #: MNWNC-108 Subcontract #: 80AHD Note: Hardware; ETA 4 Weeks; Public Works Pro Support NBD	1	\$10,137.06	\$10,137.06		
		-	Total	\$32,748.52		

Additional Comments

SHI SPIN: #143012572 SHI-GS SPIN (For Texas customers ONLY): #143028315 For E-rate SPI orders, applicant shall be responsible for payment of any outstanding or ineligible costs if USAC rejects reimbursement claim in whole or in part.

Please note, if Emergency Connectivity Funds (ECF) will be used to pay for all or part of this quote, please let us know as we will need to ensure compliance with the funding program.

Hardware items on this quote may be updated to reflect changes due to industry wide constraints and fluctuations.

Thank you for choosing SHI International Corp! The pricing offered on this quote proposal is valid through the expiration date set above. To ensure the best level of service, please provide End User Name, Phone Number, Email Address and applicable Contract Number when submitting a Purchase Order.

SHI International Corp. is 100% Minority Owned, Woman Owned Business. TAX ID# 22-3009648; DUNS# 61-1429481; CCR# 61-243957G; CAGE 1HTF0

The products offered under this proposal are resold in accordance with the terms and conditions of the Contract referenced under that applicable line item.



A quote for your consideration

Based on your business needs, we put the following quote together to help with your purchase decision. Below is a detailed summary of the quote we've created to help you with your purchase decision.

To proceed with this quote, you may respond to this email, order online through your **Premier page**, or, if you do not have Premier, use this **Quote to Order**.

Quote	No.
Total	

Customer # Quoted On Expires by

Contract Name

Contract Code

Customer Agreement #

Solution ID

Message from your Sales Rep

3000107440724.1 \$11,693.67 121207849 Dec. 10, 2021 Jan. 09, 2022 Dell NASPO Computer Equipment PA - State of FL C000000010853 MNWNC-108 / 43211500-WSCA-15-ACS 15353756 Sales Rep Phone Email **Billing To** Alan Fong (800) 456-3355, 6179675 Alan_Fong@Dell.com ACCOUNTS PAYABLE CITY OF NEPTUNE BEACH DETECTIVE ADAM MILITELLO 200 LEMON ST NEPTUNE BEACH, FL 32266-5117

Please contact your Dell sales representative if you have any questions or when you're ready to place an order. Thank you for shopping with Dell!

Regards, Alan Fong

Shipping Group

Shipping To

Shipping Method Standard Delivery

MICHAEL KEY CITY OF NEPTUNE BEACH 200 LEMON ST NEPTUNE BEACH, FL 32266-5117 (904) 242-3435

Product	Unit Price	Quantity	Subtotal
PowerEdge R640 Public Works Prosupport NBD	\$11,693.67	1	\$11,693.67

Subtotal:	\$11,693.67
Shipping:	\$0.00
Environmental Fee:	\$0.00
Non-Taxable Amount:	\$11,693.67
Taxable Amount:	\$0.00
Estimated Tax:	\$0.00
Total:	\$11,693.67

Shipping Group Details

Shipping To

(904) 242-3435

MICHAEL KEY CITY OF NEPTUNE BEACH 200 LEMON ST NEPTUNE BEACH, FL 32266-5117

Shipping Method

Standard Delivery

owerEdge R640 Public Works Prosupport NBD		\$11,693.67	Quantity 1	Subtotal \$11,693.67
stimated delivery if purchased today: an. 11, 2022				
Contract # C000000010853 Customer Agreement # MNWNC-108 / 43211500-WSCA-15-ACS				
Description	SKU	Unit Price	Quantity	Subtotal
owerEdge R640 Server	210-AKWU	-	1	-
owerEdge R640 MLK Motherboard	329-BEIJ	-	1	-
rusted Platform Module 2.0 V3	461-AAIM	-	1	-
.5 Chassis with up to 8 Hard Drives and 3PCIe slots PERC/HBA11	321-BHBQ	-	1	-
owerEdge R640 Shipping	340-BKNE	-	1	-
owerEdge R640 x8 Drive Shipping Material	340-COPS	-	1	-
owerEdge R640 CCC and BIS Marking, No CE Marking	389-DSVJ	-	1	-
ntel Xeon Silver 4208 2.1G, 8C/16T, 9.6GT/s, 11M Cache, Turbo, HT 85W) DDR4-2400	338-BSWX	-	1	-
ntel Xeon Silver 4208 2.1G, 8C/16T, 9.6GT/s, 11M Cache, Turbo, HT 85W) DDR4-2400	338-BSWX	-	1	-
dditional Processor Selected	379-BDCO	-	1	-
IMM Blanks for System with 2 Processors	370-ABWE	-	1	-
itandard 1U Heatsink	412-AAIQ	-	1	-
tandard 1U Heatsink	412-AAIQ	-	1	-
200MT/s RDIMMs	370-AEVR	-	1	-
Performance Optimized	370-AAIP	-	1	-
RAID 5	780-BCDP	-	1	-
ERC H750 Adapter, Low Profile	405-ABCC	-	1	-
OSS controller card + with 2 M.2 Sticks 240G (RAID 1),LP	403-BCHI	**	1	-
Vindows Server 2022 Standard,16CORE,FI,No Med,No CAL, Multi anguage	634-BYJY	-	1	-
Vindows Server 2022 Standard,16CORE,Digitally Fulfilled Recovery nage, Multi Language	528-CSCP	-	1	-
√indows Server 2022 Standard,No Media,WS2019 Std Downgrade ⊮F Media, Multi Language	528-CSCQ	-	1	-
/indows Server 2022 Standard,No Media, WS2019 Std Downgrade //DVD Media,Multi Lang	634-BYLQ	-	1	-
OpenManage Enterprise Advanced	528-BIYY	-	1	-
DRAC9 Datacenter 14G	528-CIBI	-	1	-
DRAC Group Manager, Disabled	379-BCQY	-	1	-
DRAC, Factory Generated Password	379-BCSF	-	1	-

iDRAC Service Module (ISM), Pre-Installed in OS	379-BCQW	-	1	-
Riser Config 2, 3x16 LP	330-BBGN	-	1	-
Broadcom 57416 Dual Port 10GbE BASE-T & 5720 Dual Port 1GbE BASE-T, rNDC	540-BBUK	-	1	-
No Internal Optical Drive for x4 and x8 HDD Chassis	429-ABBF	-	1	-
8 Standard Fans for R640	384-BBQJ	-	1	-
Dual, Hot-plug, Redundant Power Supply (1+1), 750W	450-AJSC	-	1	-
LCD Bezel	325-BCHG	-	1	-
Dell EMC Luggage Tag	350-BBJS	-	1	-
Quick Sync 2 (At-the-box mgmt)	350-BBKC	-	1	-
Performance BIOS Settings	384-BBBL	-	1	-
UEFI BIOS Boot Mode with GPT Partition	800-BBDM	-	1	-
ReadyRails Sliding Rails With Cable Management Arm	770-BBBL	-	1	-
OpenManage DVD Kit,Poweredge R640	631-ABKN	-	1	-
US Order	332-1286	-	1	-
Dell Hardware Limited Warranty Plus On-Site Service	813-9255	-	1	-
ProSupport Plus: Next Business Day On-Site Service After Problem Diagnosis, 3 Years	813-9295	-	1	-
ProSupport Plus: 7x24 HW/SW Technical Support and Assistance, 3 Years	813-9296	-	1	-
Thank you for choosing Dell ProSupport Plus. For tech support, visit //www.dell.com/contactdell	951-2015	-	1	-
ProDeploy Plus Dell Server R Series 1U/2U - Deployment	804-6750	-	1	-
ProDeploy Plus Dell Server R Series 1U/2U - Deployment Verification	804-6751	· -	1	-
ProDeploy Plus Training 300	812-4005		1	-
16GB RDIMM, 3200MT/s, Dual Rank	370-AEVQ	-	2	-
1.92TB SSD vSAS Read Intensive 12Gbps 512e 2.5in Hot-Plug ,AG Drive SED, 1DWPD,	345-BCSW	-	4	-
10-pack of Windows Server 2022/2019 User CALs (Standard or Datacenter)	634-BYKG	-	2	-
Power Cord - C13, 3M, 125V, 15A (North America, Guam, North Marianas, Philippines, Samoa, Vietnam)	450-AALV	-	2	-

Total:	\$11,693.67
Estimated Tax:	\$0.00
Environmental Fee:	\$0.00
Shipping:	\$0.00
Subtotal:	\$11,693.67



Pricing Proposal Quotation #: 21548370 Created On: 2/1/2022 Valid Until: 2/28/2022

CITY OF NEPTUNE BEACH Inside Account Executive Miklos Stoffel **Alejandro Cortes** 116 FIRST STREET 300 Davidson Avenue ATTN: A/P Somerset, NJ 08873 Neptune Beach, FL 32266 Phone: 800-527-6389 EXT 652-0307 **United States** Fax: Phone: (904) 270-2400 Email: alejandro_cortes@shi.com Fax: Email: cio@nbfl.us All Prices are in US Dollar (USD) Product Qty **Your Price** Total 1 HPE ProLiant DL360 Gen10 - Server - rack-mountable - 1U - 2-way - no CPU - RAM 0 3 \$1,288.94 \$3,866.82 GB - SATA - hot-swap 2.5" bay(s) - no HDD - GigE - no OS - monitor: none - CTO Hewlett Packard Enterprise - Part#: P19766-B21 Note: Hardware; ETA 13 weeks 2 HPE DL360 GEN10 8SFF MODX CTO 3 \$0.00 \$0.00 Hewlett Packard Enterprise - Part#: P19766-B21#ABA Note: Hardware; In Stock 3 Intel Xeon Gold 5218 - 2.3 GHz - 16-core - 32 threads - 22 MB cache - LGA3647 3 \$1,568.87 \$4,706.61 Socket - factory integrated Hewlett Packard Enterprise - Part#: P02592-L21 Note: Hardware; In Stock 4 HPE SmartMemory - DDR4 - module - 16 GB - DIMM 288-pin - 2933 MHz / PC4-23400 -3 \$582.08 \$1,746.24 CL21 - 1.2 V - registered - ECC Hewlett Packard Enterprise - Part#: P00922-B21 Note: Hardware; In Stock 5 FACTORY INTEGRATED 3 \$0.00 \$0.00 Hewlett Packard Enterprise - Part#: P00922-B21#0D1 Note: Hardware; In Stock 6 HPE - Hard drive - 2 TB - hot-swap - 2.5" SFF - SAS 12Gb/s - 7200 rpm - with HP 12 \$803.00 \$9,636.00 SmartDrive carrier Hewlett Packard Enterprise - Part#: 765466-B21 Note: Hardware; ETA 9 weeks 7 Factory Integrated 12 \$0.00 \$0.00 Hewlett Packard Enterprise - Part#: 765466-B21#0D1 Note: Hardware; ETA 9 Weeks 8 HPE 96W Smart Storage - Storage device battery - lithium ion - for Apollo 4200 3 \$119.15 \$357.45 Gen10; ProLiant DL360 Gen10, DL365 Gen10, DL380 Gen10

Hewlett Packard Enterprise - Part#: P01366-B21 **Note:** Hardware; In Stock

9	Factory Integrated Hewlett Packard Enterprise - Part#: P01366-B21#0D1 Note: Hardware; In Stock	3	\$0.00	\$0.00
10	HPE Smart Array P408I-A SR Gen10 - Storage controller (RAID) - 8 Channel - SATA 6Gb/s / SAS 12Gb/s - RAID 0, 1, 5, 6, 10, 50, 60, 1 ADM, 10 ADM - PCIe 3.0 x8 - for ProLiant DL345 Gen10, DL360 Gen10, DL380 Gen10 Hewlett Packard Enterprise - Part#: 804331-B21 Note: Hardware; ETA 13 weeks	3	\$587.71	\$1,763.13
11	Factory Integrated Hewlett Packard Enterprise - Part#: 804331-B21#0D1 Note: Hardware; ETA 13 Weeks	3	\$0.00	\$0.00
12	HPE 366FLR - Network adapter - PCle 2.1 x4 - Gigabit Ethernet x 4 - for Nimble Storage dHCI Small Solution with HPE ProLiant DL360 Gen10; ProLiant DL360 Gen10 Hewlett Packard Enterprise - Part#: 665240-B21 Note: Hardware; ETA 9 Weeks	3	\$302.79	\$908.37
13	Factory Integrated Hewlett Packard Enterprise - Part#: 665240-B21#0D1 Note: Hardware; ETA 9 Weeks	3	\$0.00	\$0.00
14	HPE - Power supply - hot-plug / redundant (plug-in module) - Flex Slot - 80 PLUS Platinum - AC 100-240 V - 500 Watt - 563 VA Hewlett Packard Enterprise - Part#: 865408-B21 Note: Hardware; ETA 13 Weeks	6	\$233.89	\$1,403.34
15	Factory Integrated Hewlett Packard Enterprise - Part#: 865408-B21#0D1 Note: Hardware; ETA 13 Weeks	6	\$0.00	\$0.00
16	HPE Small Form Factor Easy Install Rail Kit - Rack rail kit - 1U - for Nimble Storage dHCI Small Solution with HPE ProLiant DL360 Gen10; ProLiant DL360 Gen10 Hewlett Packard Enterprise - Part#: 874543-B21 Note: Hardware; ETA 11 Weeks	3	\$86.69	\$260.07
17	Factory Integrated Hewlett Packard Enterprise - Part#: 874543-B21#0D1 Note: Hardware; ETA 11 Weeks	3	\$0.00	\$0.00
18	HPE Integrated Lights-Out Advanced - License + 3 Years 24x7 Support - 1 server - electronic - for ProLiant DL160 Gen10, DL180 Gen10, DL20 Gen10, XL170r Gen9, XL190r Gen9, XL2x260 Hewlett Packard Enterprise - Part#: E6U64ABE Note: Software; In Stock	3	\$299.61	\$898.83
19	Microsoft Windows Server 2022 Standard Edition - License - 16 cores - OEM - ROK - Multilingual - Americas Hewlett Packard Enterprise - Part#: P46171-DN1 Note: Software; In Stock	3	\$876.98	\$2,630.94
20	Microsoft SQL Server 2019 Standard - License - volume - Linux, Win - Single Language Microsoft - Part#: 228-11492 Note: Software; In Stock	3	\$644.53	\$1,933.59

HPE Installation and Startup Service Hewlett Packard Enterprise - Part#: HA114A1 Note: Services	1	\$0.00	\$0.00
HPE Installation & Startup Service - Installation - on-site - for P/N: 579239R-AA1, 579240R-AA1, 579243R-AA1, 593499R-AA1, 633776R-AA1, 638180R-AA1 Hewlett Packard Enterprise - Part#: HA114A1#5A0 Note: Install Services	3	\$910.15	\$2,730.45
HPE 3Y Tech Care Essential Service HPE - Part#: HU4A6A3 Note: Support Services	1	\$0.00	\$0.00
FIO DL360 GEN10 SUP Hewlett Packard Enterprise - Part#: HU4A6A3#WAG Note: Support Services	3	\$2,351.87	\$7,055.61
HPE STD-16C ROK/FIO Support HPE - Part#: HU4A6A3#ZT0 Note: Support Services	3	\$1,045.67	\$3,137.01
	_	Total	\$43,034.46
	Note: Services HPE Installation & Startup Service - Installation - on-site - for P/N: 579239R-AA1, 579240R-AA1, 579243R-AA1, 593499R-AA1, 633776R-AA1, 638180R-AA1 Hewlett Packard Enterprise - Part#: HA114A1#5A0 Note: Install Services HPE 3Y Tech Care Essential Service HPE - Part#: HU4A6A3 Note: Support Services FIO DL360 GEN10 SUP Hewlett Packard Enterprise - Part#: HU4A6A3#WAG Note: Support Services HPE STD-16C ROK/FIO Support HPE - Part#: HU4A6A3#ZT0	Hewlett Packard Enterprise - Part#: HA114A1 Note: Services HPE Installation & Startup Service - Installation - on-site - for P/N: 579239R-AA1, 579240R-AA1, 579243R-AA1, 593499R-AA1, 633776R-AA1, 638180R-AA1 Hewlett Packard Enterprise - Part#: HA114A1#5A0 Note: Install Services HPE 3Y Tech Care Essential Service HPE - Part#: HU4A6A3 Note: Support Services I HPE 3C GEN10 SUP Hewlett Packard Enterprise - Part#: HU4A6A3#WAG Note: Support Services I HPE STD-16C ROK/FIO Support HPE - Part#: HU4A6A3#ZT0	Hewlett Packard Enterprise - Part#: HA114A1 Note: Services HPE Installation & Startup Service - Installation - on-site - for P/N: 579239R-AA1, 579243R-AA1, 593499R-AA1, 633776R-AA1, 638180R-AA1 Hewlett Packard Enterprise - Part#: HA114A1#5A0 Note: Install Services Install Services Note: Install Services Install Services

Additional Comments

Please Note: Hewlett Packard Enterprise has a zero returns policy on custom build machines.

SHI SPIN: #143012572 SHI-GS SPIN (For Texas customers ONLY): #143028315 For E-rate SPI orders, applicant shall be responsible for payment of any outstanding or ineligible costs if USAC rejects reimbursement claim in whole or in part.

Please note, if Emergency Connectivity Funds (ECF) will be used to pay for all or part of this quote, please let us know as we will need to ensure compliance with the funding program.

Hardware items on this quote may be updated to reflect changes due to industry wide constraints and fluctuations.

Thank you for choosing SHI International Corp! The pricing offered on this quote proposal is valid through the expiration date set above. To ensure the best level of service, please provide End User Name, Phone Number, Email Address and applicable Contract Number when submitting a Purchase Order.

SHI International Corp. is 100% Minority Owned, Woman Owned Business. TAX ID# 22-3009648; DUNS# 61-1429481; CCR# 61-243957G; CAGE 1HTF0

The Products offered under this proposal are resold in accordance with the <u>SHI Online Customer Resale Terms and Conditions</u>, unless a separate resale agreement exists between SHI and the Customer.



Quote summary		Quote ID:	NQ03771926-01
In reply to your request:		Expires On:	May 8, 2022
Date:	February 7, 2022	RFQ #	
Terms:	NT45 AFTER INVOICE DATE	HPE Sales Contact:	Hunter Tubbs
Quote Segment:		Phone:	
Contract ID:	43211500-WSCA-15-ACS-E	Fax:	
Estimated Delivery Time:	92 - 115 Business Days	Email:	hunter.tubbs@hpe.com

Customer details

Sold To Address:	City of Neptune Beach	Ship To Address:	City of Neptune Beach
	116 1ST St		116 1ST St
	NEPTUNE BEACH, Florida, 32266-6140		NEPTUNE BEACH, Florida, 32266-6140
	US		US

Solution Overview

Solution	Net Price
Sub-total	USD 16,183.41
Shipping and Handling Estimated	USD 0.00
Total weight	21.892 Kg
Grand Total:	USD 16,183.41

FINANCING :

As low as USD 446.38 per Month for 36 months Fair Market Value¹ Please Contact your local HPE or HPE FS rep for more information

Submit Purchase Order To:

Email PO to:	US-SLED-ORDERS@hpe.com
HPE Contact	
Phone:	
Fax Number:	
Email:	
Address:	

Following are required with PO submissions to HPE:

- · Hewlett Packard Enterprise listed as the Vendor
- · Bill-to & ship-to addresses, End User name and address
- PO # with valid HPE quote # (incl. Contract ID where applicable)
- HPE Purchase Agreement # (if applicable)
- · Contact name, phone # and email address
- Requested Delivery Date
- Tax Status (tax exemption requires a valid certificate)
- This quote contains electronic software and/or proactive support.
- This requires system manager name, email and phone

.

Quote details

The following structured solution is offered for sale with a defined configuration menu and solution adjustment. Changing the configuration may affect the offer.

Description	No.	Product	Qty	Unit List Price	Extended List price
Neptune_Tubbs_DL360	CNFG	5126700243-01	1	21,163.00	21,163.00
HPE DL360 Gen10 8SFF CTO Server	0100	867959-B21	1	2,490.00	2,490.00
HPE DL360 Gen10 8SFF CTO Server		867959-B21#ABA	1	0.00	0.00
Intel Xeon-G 5218 FIO Kit for DL360 G10	0101	P02592-L21	1	2,427.00	2,427.00
HPE 16GB 2Rx8 PC4-2933Y-R Smart Kit	0102	P00922-B21	1	938.00	938.00
HPE 2TB SAS 7.2K SFF SC 512e HDD	0103	765466-B21	4	1,257.00	5,028.00
HPE Smart Hybrid Capacitor w/ 145mm Cbl	0104	P02377-B21	1	260.00	260.00
HPE Smart Array P408i-a SR Gen10 Ctrlr	0105	804331-B21	1	920.00	920.00
HPE 1GbE 4p FLR-T I350 Adptr	0106	665240-B21	1	474.00	474.00
HPE 500W FS Plat Ht Plg LH Pwr Sply Kit	0107	865408-B21	2	364.00	728.00
HPE iLO Adv 1-svr Lic 3yr Support	0108	BD505A	1	469.00	469.00
HPE OV w/o iLO 3yr 24x7 FIO Phys 1 LTU	0109	P8B31A	1	480.00	480.00
HPE 1U Gen10 SFF Easy Install Rail Kit	0110	874543-B21	1	134.00	134.00
HPE iLO Adv Elec Lic 3yr Support	0200	E6U64ABE	1	469.00	469.00
MS WS22 16C Std ROK AMS SW	0300	P46171-DN1	1	898.00	898.00
HPE Installation and Startup Service	0400	HA114A1	1	0.00	0.00
HPE Startup Entry 300 Series OS SVC		HA114A1#5A0	1	1,150.00	1,150.00
HPE 3Y Tech Care Essential SVC	0500	HU4A6A3	1	0.00	0.000

Hewlett Packard Enterprise Proprietary for Customer Use Only - Do Not Share.

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Description	No.	Product	Qty	Unit List Pr	rice Exter	nded List price	
HPE DL360 Gen10 Support		HU4A6A3#WAG	1	3,006.00		3,006.00	
HPE Std-16C ROK/FIO Support		HU4A6A3#ZT0	1	1,292	.00	1,292.00	
Sub-Total:	معتمده والمواجع الأعمر "موالموسطال والمراجع (مواجع الم	and the second		aan awaa dhii fadaadaa bahaa madaa ahadaa ahaa ahaa ahaa ahaa ah	USD 16,183.		
Shipping and Handling Estimated			Total weight	21.892 Kg	USD 0.00		
Grand Total:					USD 16,183.4	41	

Hewlett Packard Enterprise Proprietary for Customer Use Only - Do Not Share.

Terms & Conditions

¹ TERMS AND CONDITIONS: Financing and service offerings available through Hewlett-Packard Financial Services Company and its subsidiaries and affiliates (collectively, "HPFSC") in certain countries and is subject to credit approval of customer and execution of standard HPFSC documentation. Quotations are indicative, for discussion purposes only and based on certain assumptions, including a 36-month lease with a fair market value purchase option at the end of the term. Final pricing will be determined by HPFSC based on customer's credit rating, offering terms, transaction size, and/or equipment type and options. Not all customers may qualify. Not available in all countries. Other restrictions may apply. HPFSC reserves the right to change or cancel this program at any time without notice.

For inquiries regarding this quote please contact your HPE sales rep

*If quoted herein, Remarketed Products are fully remanufactured and carry new product warranty. Purchase is subject to inventory availability at receipt of order. Inventory may not be reserved. Hewlett Packard Enterprise reserves the right to substitute new components if appropriate, or to cancel orders by notifying the customer if necessary components are unavailable.

*If quoted herein, Hewlett Packard Enterprise Promotions must be ordered as quoted, no substitutions will be allowed. POs must be received on or prior to the expiration date of the quote or special promotion whichever comes first.

*If quoted herein, Hewlett Packard Enterprise Consignment/Demo equipment is currently at the location listed on this quote. Issuing a PO against this formal quotation will imply acceptance and delivery of the Consignment/Demo inventory. The standard warranty applicable to new equipment will apply. Some demo equipment may contain products that are remanufactured to be functionally equivalent to new. If this quote contains Non-HPE branded products, Non-HPE branded products receive warranty coverage as provided by the relevant third party supplier.

The terms and conditions of the NASPO ValuePoint Agreement as set forth in your Contract ID as referenced in your quote from HPE applies to any order placed as a result of this inquiry. No other terms and conditions shall apply. Please reference this contract when placing an order.





Quote summary	2. 	Quote ID:	NQ03463244-01
In reply to your request:		Expires On:	February 13, 2022
Date:	November 15, 2021	RFQ #:	
Terms:	NT45 AFTER INVOICE DATE	HPE Sales Contact:	Hunter Tubbs
Quote Segment:		Phone:	
Contract ID:	43211500-WSCA-15-ACS-E	Fax:	
Estimated Delivery Time:	63 - 79 Business Days	Email:	hunter.tubbs@hpe.com

Customer details

Sold To Address:	City of Neptune Beach	Ship To Address:	City of Neptune Beach
	116 1ST St		116 1ST St
	NEPTUNE BEACH, Florida, 32266-6140		NEPTUNE BEACH, Florida, 32266-6140
	US		US

Solution Overview

Solution	Net Price
Hardware	16,016.28
Software	2,694.00
Support	7,059.78
Installation	540.00
Services, Training, & Other	0.00
Sub-total	USD 26,310.06
Shipping and Handling Estimated	USD 0.00
Total weight	123.261 Kg
Grand Total:	USD 26,310.06

FINANCING :

As low as USD 716.04 per Month for 36 months Fair Market Value¹ Please Contact your local HPE or HPE FS rep for more information

Submit Purchase Order To:

Emall PO to:	US-SLED-ORDERS@hpe.com
HPE Contact	
Phone:	
Fax Number:	
Email:	
Address:	
and the second	d with PO submissions to HPE:
	terprise listed as the Vendor resses, End User name and address
 PO # with valid HPE HPE Purchase Agree 	esses, End oser name and address quote # (incl. Contract ID where applicable) ement # (if applicable) e # and email address
Requested Delivery	
Tax Status (tax exerThis quote contains	nption requires a valid certificate) electronic software and/or proactive support. n manager name, email and phone

Hewlett Packard Enterprise Proprietary for Customer Use Only - Do Not Share.

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Quote details

The following structured solution is offered for sale with a defined configuration menu and solution adjustment. Changing the configuration may affect the offer.

No.	Qty	Product	Description	Estimated Delivery Time
CNFG	1	5125555820-01	City-of-Neptune-Beach_Tubbs_DL325	63 days
0100	3	P18603-B21	HPE DL325 Gen10+ 7262 1P 16G 4LFF Svr	13 days
0200	12	833926-B21	HPE 2TB SAS 7.2K LFF LP HDD	63 days
0300	3	P15911-B21	HPE DL325 G10+ LFF ODD SATA/M.2 Cbl Kit	17 days
0400	3	P46171-DN1	MS WS22 16C Std ROK AMS SW	17 days
0500	1	HA113A1	HPE Installation SVC	Support product
	3	HA113A1#5A0	HPE Entry 300 Series Install Service	Support product
0600	1	HU4A6A3	HPE 3Y Tech Care Essential SVC	Support product
	3	HU4A6A3#YL0	HPE DL325 GEN10 PLUS Supp	Support product
	3	HU4A6A3#ZT0	HPE Std-16C ROK/FIO Support	Support product
Sub-Total:				USD 26,310.06
Shipping and Handling	Estimated		Total weight 123.261 Kg	USD 0.00

Grand Total:

USD 26,310.06

Hewlett Packard Enterprise Proprietary for Customer Use Only - Do Not Share.

Terms & Conditions

¹ TERMS AND CONDITIONS: Financing and service offerings available through Hewlett-Packard Financial Services Company and its subsidiaries and affiliates (collectively, "HPFSC") in certain countries and is subject to credit approval of customer and execution of standard HPFSC documentation. Quotations are indicative, for discussion purposes only and based on certain assumptions, including a 36-month lease with a fair market value purchase option at the end of the term. Final pricing will be determined by HPFSC based on customer's credit rating, offering terms, transaction size, and/or equipment type and options. Not all customers may qualify. Not available in all countries. Other restrictions may apply. HPFSC reserves the right to change or cancel this program at any time without notice.

For inquiries regarding this quote please contact your HPE sales rep

*If quoted herein, Remarketed Products are fully remanufactured and carry new product warranty. Purchase is subject to inventory availability at receipt of order. Inventory may not be reserved. Hewlett Packard Enterprise reserves the right to substitute new components if appropriate, or to cancel orders by notifying the customer if necessary components are unavailable.

*If quoted herein, Hewlett Packard Enterprise Promotions must be ordered as quoted, no substitutions will be allowed. POs must be received on or prior to the expiration date of the quote or special promotion whichever comes first.

*If quoted herein, Hewlett Packard Enterprise Consignment/Demo equipment is currently at the location listed on this quote. Issuing a PO against this formal quotation will imply acceptance and delivery of the Consignment/Demo inventory. The standard warranty applicable to new equipment will apply. Some demo equipment may contain products that are remanufactured to be functionally equivalent to new. If this quote contains Non-HPE branded products, Non-HPE branded products receive warranty coverage as provided by the relevant third party supplier.

The terms and conditions of the NASPO ValuePoint Agreement as set forth in your Contract ID as referenced in your quote from HPE applies to any order placed as a result of this inquiry. No other terms and conditions shall apply. Please reference this contract when placing an order.





Pricing Proposal Quotation #: 21275432 Created On: 11/16/2021 Valid Until: 11/30/2021

-				
Cľ	TY OF NEPTUNE BEACH		de Account cutive	
116 ATT Nep Unit		Alejandro Cortes 300 Davidson Avenue Somerset, NJ 08873 Phone: 800-527-6389 EXT 652-0307 Fax: Email: alejandro_cortes@shi.com		
All F	rices are in US Dollar (USD)			
	Product	Qty	Your Price	Total
1	HPE ProLiant DL325 Gen10 Plus - Server - rack-mountable - 1U - 1-way - 1 x EPYC 7262 / 3.2 GHz - RAM 16 GB - SAS - hot-swap 3.5" bay(s) - no HDD - GigE - monitor: none Hewlett Packard Enterprise - Part#: P18603-B21 Note: Hardware; ETA 12 Weeks	3	\$2,710.02	\$8,130.06
2	HPE Midline - Hard drive - 2 TB - 3.5" LFF Low Profile - SAS 12Gb/s - 7200 rpm Hewlett Packard Enterprise - Part#: 833926-B21 Note: Hardware; ETA In Stock	12	\$411.10	\$4,933.20
3	HPE M.2 SATA/LFF ODD Cable Kit - SATA cable kit - for Nimble Storage dHCI Medium Solution with HPE ProLiant DL325 Gen10; ProLiant DL325 Gen10 Hewlett Packard Enterprise - Part#: P15911-B21 Note: Hardware; ETA 12 Weeks	3	\$57.15	\$171.45
4	Microsoft Windows Server 2022 Standard Edition - License - 16 cores - OEM - ROK - Multilingual - Americas Hewlett Packard Enterprise - Part#: P46171-DN1 Note: Hardware; In Stock	3	\$863.96	\$2,591.88
5	HPE Installation Service - Installation / configuration - for ProLiant DL325 Gen10, DL360 Gen10 Hewlett Packard Enterprise - Part#: U4506E Note: Services; Install	3	\$203.57	\$610.71
6	HPE Pointnext Tech Care Essential Service - Extended service agreement - parts and labor - 3 years - on-site - 24x7 - response time: 4 h - for P/N: P18603R-B21, P18604R-B21, P18605R-B21, P18606R-B21, R4K99A, R4L00A, R4L01A, R7E82A Hewlett Packard Enterprise - Part#: HV6M0E Note: Services; 3 Years 24x7	3	\$1,315.49	\$3,946.47
		-		

Total \$20,383.77

Please Note: Hewlett Packard Enterprise has a zero returns policy on custom build machines.

Hardware items on this quote may be updated to reflect changes due to industry wide constraints and fluctuations.

SHI SPIN: #143012572 SHI-GS SPIN (For Texas customers ONLY): #143028315 For E-rate SPI orders, applicant shall be responsible for payment of any outstanding or ineligible costs if USAC rejects reimbursement claim in whole or in part.

Please note, if Emergency Connectivity Funds (ECF) will be used to pay for all or part of this quote, please let us know as we will need to ensure compliance with the funding program.

Thank you for choosing SHI International Corp! The pricing offered on this quote proposal is valid through the expiration date set above. To ensure the best level of service, please provide End User Name, Phone Number, Email Address and applicable Contract Number when submitting a Purchase Order.

SHI International Corp. is 100% Minority Owned, Woman Owned Business. TAX ID# 22-3009648; DUNS# 61-1429481; CCR# 61-243957G; CAGE 1HTF0

The Products offered under this proposal are resold in accordance with the <u>SHI Online Customer Resale Terms and Conditions</u>, unless a separate resale agreement exists between SHI and the Customer.



CITY OF NEPTUNE BEACH

Pricing Proposal Quotation #: 21280223 Created On: 11/17/2021 Valid Until: 11/30/2021

Inside Account Executive

116 ATT Nep Unite		300 Da Somer Phone: Fax:	Alejandro Cortes 300 Davidson Avenue Somerset, NJ 08873 Phone: 800-527-6389 EXT 652-0307 Fax: Email: alejandro_cortes@shi.com		
All P	rices are in US Dollar (USD)				
	Product	Qty	Your Price	Total	
1	PowerEdge R640 Dell - Part#: 3000105734872.1 Contract Name: NASPO Computer Equipment Contract #: MNWNC-108 Subcontract #: 80AHD Note: Hardware; ETA 4 Weeks; City Hall	1	\$10,137.06	\$10,137.06	
2	PowerEdge R640 with 10 SQL CALs Dell - Part#: 3000105734873.1 Contract Name: NASPO Computer Equipment Contract #: MNWNC-108 Subcontract #: 80AHD Note: Hardware; ETA 4 Weeks; City Hall	1	\$12,474.40	\$12,474.40	
3	PowerEdge R640 Dell - Part#: 3000105734874.1 Contract Name: NASPO Computer Equipment Contract #: MNWNC-108 Subcontract #: 80AHD Note: Hardware; ETA 4 Weeks; Public Works Pro Support NBD	1	\$10,137.06	\$10,137.06	
		-	Total	\$32,748.52	
Add	litional Comments				

SHI SPIN: #143012572 SHI-GS SPIN (For Texas customers ONLY): #143028315 For E-rate SPI orders, applicant shall be responsible for payment of any outstanding or ineligible costs if USAC rejects reimbursement claim in whole or in part.

Please note, if Emergency Connectivity Funds (ECF) will be used to pay for all or part of this quote, please let us know as we will need to ensure compliance with the funding program.

Hardware items on this quote may be updated to reflect changes due to industry wide constraints and fluctuations.

Thank you for choosing SHI International Corp! The pricing offered on this quote proposal is valid through the expiration date set above. To ensure the best level of service, please provide End User Name, Phone Number, Email Address and applicable Contract Number when submitting a Purchase Order.

SHI International Corp. is 100% Minority Owned, Woman Owned Business. TAX ID# 22-3009648; DUNS# 61-1429481; CCR# 61-243957G; CAGE 1HTF0

The products offered under this proposal are resold in accordance with the terms and conditions of the Contract referenced under that applicable line item.



A quote for your consideration

Based on your business needs, we put the following quote together to help with your purchase decision. Below is a detailed summary of the quote we've created to help you with your purchase decision.

To proceed with this quote, you may respond to this email, order online through your **Premier page**, or, if you do not have Premier, use this **Quote to Order**.

Quote No. Total

Customer # Quoted On Expires by

Contract Name

Contract Code

Customer Agreement #

Solution ID

Message from your Sales Rep

3000107440722.1 \$11,693.67 121207849 Dec. 10, 2021 Jan. 09, 2022 Dell NASPO Computer Equipment PA - State of FL C00000010853 MNWNC-108 / 43211500-WSCA-15-ACS 15353756 Sales Rep Phone Email **Billing To** Alan Fong (800) 456-3355, 6179675 Alan_Fong@Dell.com ACCOUNTS PAYABLE CITY OF NEPTUNE BEACH DETECTIVE ADAM MILITELLO 200 LEMON ST NEPTUNE BEACH, FL 32266-5117

Please contact your Dell sales representative if you have any questions or when you're ready to place an order. Thank you for shopping with Dell!

Regards, Alan Fong

Shipping Group

Shipping To

Shipping Method Standard Delivery

MICHAEL KEY CITY OF NEPTUNE BEACH 200 LEMON ST NEPTUNE BEACH, FL 32266-5117 (904) 242-3435

Product	Unit Price	Quantity	Subtotal
PowerEdge R640 City Hall 1	\$11,693.67	1	\$11,693.67

Total:	\$11,693.67
Estimated Tax:	\$0.00
Taxable Amount:	\$0.00
Non-Taxable Amount:	\$11,693.67
Environmental Fee:	\$0.00
Shipping:	\$0.00
Subtotal:	\$11,693.67

Shipping Group Details

Shipping To

MICHAEL KEY CITY OF NEPTUNE BEACH 200 LEMON ST NEPTUNE BEACH, FL 32266-5117 (904) 242-3435

Shipping Method

Standard Delivery

PowerEdge R640 City Hall 1		\$11,693.67	Quantity 1	Subtotal \$11,693.67
Estimated delivery if purchased today: Jan. 11, 2022 Contract # C000000010853				
Customer Agreement # MNWNC-108 / 43211500-WSCA-15-ACS				
Description	SKU	Unit Price	Quantity	Subtotal
PowerEdge R640 Server	210-AKWU	-	1	-
PowerEdge R640 MLK Motherboard	329-BEIJ	-	1	-
Trusted Platform Module 2.0 V3	461-AAIM	-	1	-
2.5 Chassis with up to 8 Hard Drives and 3PCIe slots PERC/HBA11	321-BHBQ	-	1	-
PowerEdge R640 Shipping	340-BKNE	-	1	-
PowerEdge R640 x8 Drive Shipping Material	340-COPS	-	1	-
PowerEdge R640 CCC and BIS Marking, No CE Marking	389-DSVJ	-	1	-
Intel Xeon Silver 4208 2.1G, 8C/16T, 9.6GT/s, 11M Cache, Turbo, HT (85W) DDR4-2400	338-BSWX	-	1	-
ntel Xeon Silver 4208 2.1G, 8C/16T, 9.6GT/s, 11M Cache, Turbo, HT 85W) DDR4-2400	338-BSWX	-	1	-
Additional Processor Selected	379-BDCO	-	1	-
DIMM Blanks for System with 2 Processors	370-ABWE	-	1	-
Standard 1U Heatsink	412-AAIQ	-	1	-
Standard 1U Heatsink	412-AAIQ	-	1	-
3200MT/s RDIMMs	370-AEVR	-	1	-
Performance Optimized	370-AAIP	-	1	-
RAID 5	780-BCDP	-	1	-
PERC H750 Adapter, Low Profile	405-ABCC	-	1	-
3OSS controller card + with 2 M.2 Sticks 240G (RAID 1),LP	403-BCHI	-	1	-
Nindows Server 2022 Standard,16CORE,FI,No Med,No CAL, Multi ₋anguage	634-BYJY	-	1	-
Windows Server 2022 Standard,16CORE,Digitally Fulfilled Recovery mage, Multi Language	528-CSCP	-	1	-
Windows Server 2022 Standard,No Media,WS2019 Std Downgrade JF Media, Multi Language	528-CSCQ	-	1	-
Nindows Server 2022 Standard,No Media, WS2019 Std Downgrade w/DVD Media,Multi Lang	634-BYLQ	-	1	-
DpenManage Enterprise Advanced	528-BIYY	-	1	-
DRAC9 Datacenter 14G	528-CIBI	-	1	-
DRAC Group Manager, Disabled	379-BCQY	-	1	-
DRAC,Factory Generated Password	379-BCSF	-	1	-

			Subtotal: Shipping:	\$11,69 [`] 3.67 \$0.00
Power Cord - C13, 3M, 125V, 15A (North America, Guam, North Marianas, Philippines, Samoa, Vietnam)	450-AALV	-	2	-
10-pack of Windows Server 2022/2019 User CALs (Standard or Datacenter)	634-BYKG	-	2	-
1.92TB SSD vSAS Read Intensive 12Gbps 512e 2.5in Hot-Plug ,AG Drive SED, 1DWPD,	345-BCSW	-	4	-
16GB RDIMM, 3200MT/s, Dual Rank	370-AEVQ	-	2	-
ProDeploy Plus Training 300	812-4005	-	1	-
ProDeploy Plus Dell Server R Series 1U/2U - Deployment Verification	804-6751	-	1	-
ProDeploy Plus Dell Server R Series 1U/2U - Deployment	804-6750	-	1	-
Thank you for choosing Dell ProSupport Plus. For tech support, visit //www.dell.com/contactdell	951-2015	-	1	-
ProSupport Plus: 7x24 HW/SW Technical Support and Assistance, 3 Years	813-9296	-	1	-
ProSupport Plus: Next Business Day On-Site Service After Problem Diagnosis, 3 Years	813-9295	-	1	-
Dell Hardware Limited Warranty Plus On-Site Service	813-9255	-	1	-
US Order	332-1286	-	1	-
OpenManage DVD Kit,Poweredge R640	631-ABKN	-	1	-
ReadyRails Sliding Rails With Cable Management Arm	770-BBBL	-	1	-
UEFI BIOS Boot Mode with GPT Partition	800-BBDM	-	1	-
Performance BIOS Settings	384-BBBL	-	1	-
Quick Sync 2 (At-the-box mgmt)	350-BBKC		1	-
Dell EMC Luggage Tag	350-BBJS	-	1	-
LCD Bezel	325-BCHG	-	1	-
Dual, Hot-plug, Redundant Power Supply (1+1), 750W	450-AJSC	-	1	-
8 Standard Fans for R640	384-BBQJ	-	1	-
No Internal Optical Drive for x4 and x8 HDD Chassis	429-ABBF	-	1	-
Broadcom 57416 Dual Port 10GbE BASE-T & 5720 Dual Port 1GbE BASE-T, rNDC	540-BBUK	-	1	-
Riser Config 2, 3x16 LP	330-BBGN	-	1	-

Snipping:	\$0.00
Environmental Fee:	\$0.00
Estimated Tax:	\$0.00

Total: \$11,693.67

Important Notes

Terms of Sale

This Quote will, if Customer issues a purchase order for the quoted items that is accepted by Supplier, constitute a contract between the entity issuing this Quote ("Supplier") and the entity to whom this Quote was issued ("Customer"). Unless otherwise stated herein, pricing is valid for thirty days from the date of this Quote. All product, pricing and other information is based on the latest information available and is subject to change. Supplier reserves the right to cancel this Quote and Customer purchase orders arising from pricing errors. Taxes and/or freight charges listed on this Quote are only estimates. The final amounts shall be stated on the relevant invoice. Additional freight charges will be applied if Customer requests expedited shipping. Please indicate any tax exemption status on your purchase order and send your tax exemption certificate to Tax_Department@dell.com or ARSalesTax@emc.com, as applicable.

Governing Terms: This Quote is subject to: (a) a separate written agreement between Customer or Customer's affiliate and Supplier or a Supplier's affiliate to the extent that it expressly applies to the products and/or services in this Quote or, to the extent there is no such agreement, to the applicable set of Dell's Terms of Sale (available at www.dell.com/terms or www.dell.com/oemterms), or for cloud/as-a-Service offerings, the applicable cloud terms of service (identified on the Offer Specific Terms referenced below); and (b) the terms referenced herein (collectively, the "Governing Terms"). Different Governing Terms may apply to different products and services on this Quote. The Governing Terms apply to the exclusion of all terms and conditions incorporated in or referred to in any documentation submitted by Customer to Supplier.

Supplier Software Licenses and Services Descriptions: Customer's use of any Supplier software is subject to the license terms accompanying the software, or in the absence of accompanying terms, the applicable terms posted on www.Dell.com/eula. Descriptions and terms for Supplier-branded standard services are stated at www.dell.com/servicecontracts/global or for certain infrastructure products at www.dellemc.com/en-us/customer-services/product-warranty-and-service-descriptions.htm.

Offer-Specific, Third Party and Program Specific Terms: Customer's use of third-party software is subject to the license terms that accompany the software. Certain Supplier-branded and third-party products and services listed on this Quote are subject to additional, specific terms stated on www.dell.com/offeringspecificterms ("Offer Specific Terms").

In case of Resale only: Should Customer procure any products or services for resale, whether on standalone basis or as part of a solution, Customer shall include the applicable software license terms, services terms, and/or offer-specific terms in a written agreement with the enduser and provide written evidence of doing so upon receipt of request from Supplier.

In case of Financing only: If Customer intends to enter into a financing arrangement ("Financing Agreement") for the products and/or services on this Quote with Dell Financial Services LLC or other funding source pre-approved by Supplier ("FS"), Customer may issue its purchase order to Supplier or to FS. If issued to FS, Supplier will fulfill and invoice FS upon confirmation that: (a) FS intends to enter into a Financing Agreement with Customer for this order; and (b) FS agrees to procure these items from Supplier. Notwithstanding the Financing Agreement, Customer's use (and Customer's resale of and the end-user's use) of these items in the order is subject to the applicable governing agreement between Customer and Supplier, except that title shall transfer from Supplier to FS instead of to Customer. If FS notifies Supplier after shipment that Customer is no longer pursuing a Financing Agreement for these items, or if Customer fails to enter into such Financing Agreement within 120 days after shipment by Supplier, Customer shall promptly pay the Supplier invoice amounts directly to Supplier.

Customer represents that this transaction does not involve: (a) use of U.S. Government funds; (b) use by or resale to the U.S. Government; or (c) maintenance and support of the product(s) listed in this document within classified spaces. Customer further represents that this transaction does not require Supplier's compliance with any statute, regulation or information technology standard applicable to a U.S. Government procurement.

For certain products shipped to end users in California, a State Environmental Fee will be applied to Customer's invoice. Supplier encourages customers to dispose of electronic equipment properly.

Electronically linked terms and descriptions are available in hard copy upon request.

^Dell Business Credit (DBC):

OFFER VARIES BY CREDITWORTHINESS AS DETERMINED BY LENDER. Offered by WebBank to Small and Medium Business customers with approved credit. Taxes, shipping and other charges are extra and vary. Minimum monthly payments are the greater of \$15 or 3% of account balance. Dell Business Credit is not offered to government or public entities, or business entities located and organized outside of the United States.



A quote for your consideration

Based on your business needs, we put the following quote together to help with your purchase decision. Below is a detailed summary of the quote we've created to help you with your purchase decision.

To proceed with this quote, you may respond to this email, order online through your **Premier page**, or, if you do not have Premier, use this **Quote to Order**.

Quote No. Total

Customer # Quoted On Expires by

Contract Name

Contract Code

Customer Agreement #

Solution ID

Message from your Sales Rep

3000107440723.1 \$14,728.17 121207849 Dec. 10, 2021 Jan. 09, 2022 Dell NASPO Computer Equipment PA - State of FL C000000010853 MNWNC-108 / 43211500-WSCA-15-ACS 15353756 Sales Rep Phone Email **Billing To** Alan Fong (800) 456-3355, 6179675 Alan_Fong@Dell.com ACCOUNTS PAYABLE CITY OF NEPTUNE BEACH DETECTIVE ADAM MILITELLO 200 LEMON ST NEPTUNE BEACH, FL 32266-5117

Please contact your Dell sales representative if you have any questions or when you're ready to place an order. Thank you for shopping with Dell!

Regards, Alan Fong

Shipping Group

Shipping To

Shipping Method Standard Delivery

MICHAEL KEY CITY OF NEPTUNE BEACH 200 LEMON ST NEPTUNE BEACH, FL 32266-5117 (904) 242-3435

Product	Unit Price	Quantity	Subtotal
PowerEdge R640 City Hall 2 with 10 SQL CALs	\$14,728.17	1	\$14,728.17

Subtotal:	\$14,728.17
Shipping:	\$0.00
Environmental Fee:	\$0.00
Non-Taxable Amount:	\$14,728.17
Taxable Amount:	\$0.00
Estimated Tax:	\$0.00
нин-ламман ин-ник-конскински сама сарын канандарынан канандарын канандарын канандарын канандарын канандарын ка Т = 4 = 1 :	¢44 700 47
Total:	\$14,728.17

Shipping Group Details

Shipping To **Shipping Method** MICHAEL KEY Standard Delivery CITY OF NEPTUNE BEACH 200 LEMON ST NEPTUNE BEACH, FL 32266-5117 (904) 242-3435

PowerEdge R640 City Hall 2 with 10 SQL CALs		\$14,728.17	Quantity 1	Subtotal \$14,728.17
Jan. 11, 2022 Contract # C000000010853 Customer Agreement # MNWNC-108 / 43211500-WSCA-15-ACS				
Description	SKU	Unit Price	Quantity	Subtotal
PowerEdge R640 Server	210-AKWU	-	1	-
PowerEdge R640 MLK Motherboard	329-BEIJ	-	1	-
Trusted Platform Module 2.0 V3	461-AAIM	-	1	-
2.5 Chassis with up to 8 Hard Drives and 3PCIe slots PERC/HBA11	321-BHBQ	-	1	-
PowerEdge R640 Shipping	340-BKNE	-	1	-
PowerEdge R640 x8 Drive Shipping Material	340-COPS	-	1	-
PowerEdge R640 CCC and BIS Marking, No CE Marking	389-DSVJ	-	1	-
ntel Xeon Silver 4208 2.1G, 8C/16T, 9.6GT/s, 11M Cache, Turbo, HT 85W) DDR4-2400	338-BSWX	-	1	-
ntel Xeon Silver 4208 2.1G, 8C/16T, 9.6GT/s, 11M Cache, Turbo, HT 85W) DDR4-2400	338-BSWX	-	1	-
Additional Processor Selected	379-BDCO	-	1	-
DIMM Blanks for System with 2 Processors	370-ABWE	-	1	-
Standard 1U Heatsink	412-AAIQ	-	1	-
Standard 1U Heatsink	412-AAIQ	-	1	-
3200MT/s RDIMMs	370-AEVR	~	1	-
Performance Optimized	370-AAIP	-	1	-
RAID 5	780-BCDP	-	1	-
PERC H750 Adapter, Low Profile	405-ABCC	-	1	-
3OSS controller card + with 2 M.2 Sticks 240G (RAID 1),LP	403-BCHI	-	1	-
Vindows Server 2022 Standard,16CORE,FI,No Med,No CAL, Multi .anguage	634-BYJY	-	1	-
Vindows Server 2022 Standard,16CORE,Digitally Fulfilled Recovery mage, Multi Language	528-CSCP	-	1	-
Vindows Server 2022 Standard,No Media,WS2019 Std Downgrade DF Media, Multi Language	528-CSCQ	-	1	-
Vindows Server 2022 Standard,No Media, WS2019 Std Downgrade v/DVD Media,Multi Lang	634-BYLQ	-	1	-
DpenManage Enterprise Advanced	528-BIYY	-	1	-
DRAC9 Datacenter 14G	528-CIBI	-	1	-
DRAC Group Manager, Disabled	379-BCQY	-	1	-
DRAC, Factory Generated Password	379-BCSF	-	1	-

			Total:	\$14,728.17
				\$14,728.17 \$0.00 \$0.00 \$0.00 \$0.00
wer Cord - C13, 3M, 125V, 15A (North America, Guam, North irianas, Philippines, Samoa, Vietnam)	450-AALV	-	2	-
-pack of Windows Server 2022/2019 User CALs (Standard or tacenter)	634-BYKG	-	2	-
crosoft SQL Server 2019 Standard, 5 USER CALs Only OEM, No edia, NFI	634-BUWW	-	1	
2TB SSD vSAS Read Intensive 12Gbps 512e 2.5in Hot-Plug ,AG ve SED, 1DWPD,	345-BCSW	-	4	
GB RDIMM, 3200MT/s, Dual Rank	370-AEVQ	-	2	
Deploy Plus Training 300	812-4005	-	1	
Deploy Plus Dell Server R Series 1U/2U - Deployment Verification	on 804-6751	-	1	
Deploy Plus Dell Server R Series 1U/2U - Deployment	804-6750	-	1	
ank you for choosing Dell ProSupport Plus. For tech support, visit ww.dell.com/contactdell	951-2015	-	1	-
oSupport Plus: 7x24 HW/SW Technical Support and Assistance, 3 ars	813-9296	-	1	
oSupport Plus: Next Business Day On-Site Service After Problem agnosis, 3 Years	813-9295	-	1	
II Hardware Limited Warranty Plus On-Site Service	813-9255	-	1	
S Order	332-1286	-	1	
crosoft SQL Server 2019 Standard,OEM, Incl. 5 USER CALs, NFI h SQL2017/2016 DWGD Media,ENGLISH	634-BUWT	-	1	
enManage DVD Kit,Poweredge R640	631-ABKN	-	1	
adyRails Sliding Rails With Cable Management Arm	770-BBBL	-	1	
FI BIOS Boot Mode with GPT Partition	800-BBDM	-	1	
rformance BIOS Settings	384-BBBL	-	1	
lick Sync 2 (At-the-box mgmt)	350-BBKC	-	1	
II EMC Luggage Tag	350-BBJS	-	1	
D Bezel	325-BCHG	_	1	
al, Hot-plug, Redundant Power Supply (1+1), 750W	450-AJSC	-	1	
Standard Fans for R640	384-BBQJ	-	1	
SE-T, rNDC Internal Optical Drive for x4 and x8 HDD Chassis	429-ABBF	<u>-</u>	1	
oadcom 57416 Dual Port 10GbE BASE-T & 5720 Dual Port 1GbE	540-BBUK	-	1	

Important Notes

Terms of Sale

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A quote for your consideration

Based on your business needs, we put the following quote together to help with your purchase decision. Below is a detailed summary of the quote we've created to help you with your purchase decision.

To proceed with this quote, you may respond to this email, order online through your **Premier page**, or, if you do not have Premier, use this **Quote to Order**.

Quote No. Total Customer # Quoted On Expires by Contract Name Contract Code Customer Agreement # Solution ID 3000109907876.1 \$41,114.48 121207849 Jan. 19, 2022 Feb. 18, 2022 Dell NASPO Computer Equipment PA - State of FL C000000010853 MNWNC-108 / 43211500-WSCA-15-ACS 15353756 Sales Rep Phone Email **Billing To** Alan Fong (800) 456-3355, 6179675 Alan_Fong@Dell.com MICHAEL KEY CITY OF NEPTUNE BEACH 200 LEMON ST NEPTUNE BEACH, FL 32266-5117

Message from your Sales Rep

Please contact your Dell sales representative if you have any questions or when you're ready to place an order. Thank you for shopping with Dell!

Regards, Alan Fong

Shipping Group

Shipping To

Shipping Method Standard Delivery

MICHAEL KEY CITY OF NEPTUNE BEACH 200 LEMON ST NEPTUNE BEACH, FL 32266-5117 (904) 242-3435

Product	Unit Price	Quantity	Subtotal
PowerEdge R640 City Hall 2 wit SQL 16 cores	\$41,114.48	1	\$41,114.48

\$41,114.48	Subtotal:
\$0.00	Shipping:
\$0.00	Environmental Fee:
\$41,114.48	Non-Taxable Amount:
\$0.00	Taxable Amount:
\$0.00	Estimated Tax:
\$41,114.48	Total:

Shipping Group Details

Page 3

Shipping To MICHAEL KEY Standard Delivery CITY OF NEPTUNE BEACH 200 LEMON ST NEPTUNE BEACH, FL 32266-5117 (904) 242-3435

Shipping Method

			Quantity	Subtotal
PowerEdge R640 City Hall 2 wit SQL 16 cores Estimated delivery if purchased today: Feb. 07, 2022 Contract # C000000010853		\$41,114.48	1	\$41,114.48
Customer Agreement # MNWNC-108 / 43211500-WSCA-15-ACS				
Description	SKU	Unit Price	Quantity	Subtotal
PowerEdge R640 Server	210-AKWU	-	1	-
PowerEdge R640 MLK Motherboard	329-BEIJ	-	1	-
Trusted Platform Module 2.0 V3	461-AAIM	-	1	-
2.5 Chassis with up to 8 Hard Drives and 3PCIe slots PERC/HBA11	321-BHBQ	-	1	-
PowerEdge R640 Shipping	340-BKNE	-	1	-
PowerEdge R640 x8 Drive Shipping Material	340-COPS	-	1	-
PowerEdge R640 CCC and BIS Marking, No CE Marking	389-DSVJ	-	1	-
Intel Xeon Silver 4208 2.1G, 8C/16T, 9.6GT/s, 11M Cache, Turbo, HT (85W) DDR4-2400	338-BSWX	-	1	-
Intel Xeon Silver 4208 2.1G, 8C/16T, 9.6GT/s, 11M Cache, Turbo, HT (85W) DDR4-2400	338-BSWX	-	1	-
Additional Processor Selected	379-BDCO	-	1	-
DIMM Blanks for System with 2 Processors	370-ABWE	-	1	-
Standard 1U Heatsink	412-AAIQ	-	1	-
Standard 1U Heatsink	412-AAIQ	-	1	-
3200MT/s RDIMMs	370-AEVR	-	1	-
Performance Optimized	370-AAIP	-	1	-
RAID 5	780-BCDP	-	1	-
PERC H750 Adapter, Low Profile	405-ABCC	-	1	-
BOSS controller card + with 2 M.2 Sticks 240G (RAID 1),LP	403-BCHI	-	1	-
Windows Server 2022 Standard,16CORE,FI,No Med,No CAL, Multi Language	634-BYJY	-	1	-
Windows Server 2022 Standard,16CORE,Digitally Fulfilled Recovery Image, Multi Language	528-CSCP	-	1	-
Windows Server 2022 Standard,No Media,WS2019 Std Downgrade DF Media, Multi Language	528-CSCQ	-	1	-
Windows Server 2022 Standard,No Media, WS2019 Std Downgrade w/DVD Media,Multi Lang	634-BYLQ	-	1	-
OpenManage Enterprise Advanced	528-BIYY	-	1	-
iDRAC9 Datacenter 14G	528-CIBI	-	1	-
iDRAC Group Manager, Disabled	379-BCQY	-	1	-
iDRAC,Factory Generated Password	379-BCSF	-	1	-

Dell Marketing LP. U.S. only. Dell Marketing LP. is located at One Dell Way, Mail Stop 8129, Round Rock, TX 78682

			Subtotal: Shipping:	\$41,114.48 \$0.00
Power Cord - C13, 3M, 125V, 15A (North America, Guam, North Marianas, Philippines, Samoa, Vietnam)	450-AALV	-	2	-
10-pack of Windows Server 2022/2019 User CALs (Standard or Datacenter)	634-BYKG	-	2	-
Microsoft SQL Server 2019 Standard, Additional 2 CORE, No MEDIA	634-BUWZ	-	6	-
1.92TB SSD vSAS Read Intensive 12Gbps 512e 2.5in Hot-Plug ,AG Drive SED, 1DWPD,	345-BCSW	-	4	-
16GB RDIMM, 3200MT/s, Dual Rank	370-AEVQ	-	2	-
ProDeploy Plus Training 300	812-4005	-	1	-
ProDeploy Plus Dell Server R Series 1U/2U - Deployment Verification	n 804-6751	-	1	-
ProDeploy Plus Dell Server R Series 1U/2U - Deployment	804-6750	-	1	-
Thank you for choosing Dell ProSupport Plus. For tech support, visit //www.dell.com/contactdell	951-2015	-	1	-
ProSupport Plus: 7x24 HW/SW Technical Support and Assistance, 3 Years	813-9296	-	1	-
ProSupport Plus: Next Business Day On-Site Service After Problem Diagnosis, 3 Years	813-9295	-	1	-
Dell Hardware Limited Warranty Plus On-Site Service	813-9255	-	1	-
US Order	332-1286	-	1	-
Microsoft SQL Server 2019 Standard, 4 CORE, OEM, NFI, ENGLISH	I 634-BUWX	-	1	-
OpenManage DVD Kit,Poweredge R640	631-ABKN	-	1	-
ReadyRails Sliding Rails With Cable Management Arm	770-BBBL	-	1	-
UEFI BIOS Boot Mode with GPT Partition	800-BBDM	-	1	-
Performance BIOS Settings	384-BBBL	-	1	-
Quick Sync 2 (At-the-box mgmt)	350-BBKC	-	1	-
Dell EMC Luggage Tag	350-BBJS	-	1	-
LCD Bezel	325-BCHG	-	1	м
Dual, Hot-plug, Redundant Power Supply (1+1), 750W	450-AJSC	-	1	-
8 Standard Fans for R640	384-BBQJ	-	1	-
No Internal Optical Drive for x4 and x8 HDD Chassis	429-ABBF	-	1	-
Broadcom 57416 Dual Port 10GbE BASE-T & 5720 Dual Port 1GbE BASE-T, rNDC	540-BBUK	-	1	-
Riser Config 2, 3x16 LP	330-BBGN	-	1	-
iDRAC Service Module (ISM), Pre-Installed in OS	379-BCQW			

Environmental Fee:	\$0.00
Estimated Tax:	\$0.00

\$41,114.48 Total:

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Page 171 of 187



Agenda Item #10B Resiliency Lab

CITY OF NEPTUNE BEACH CITY COUNCIL MEETING STAFF REPORT

AGENDA ITEM:	
SUBMITTED BY:	
DATE:	
BACKGROUND:	
BUDGET:	
RECOMMENDATION:	
ATTACHMENT:	



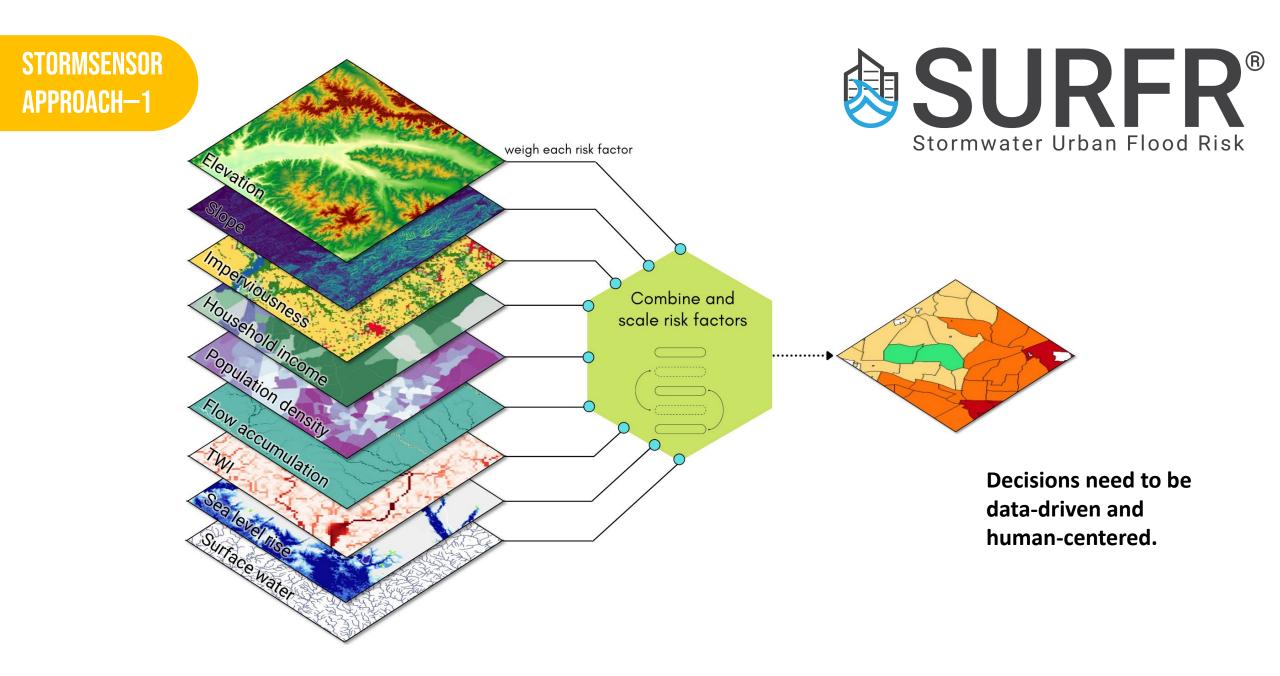
PROGRAM OVERVIEW

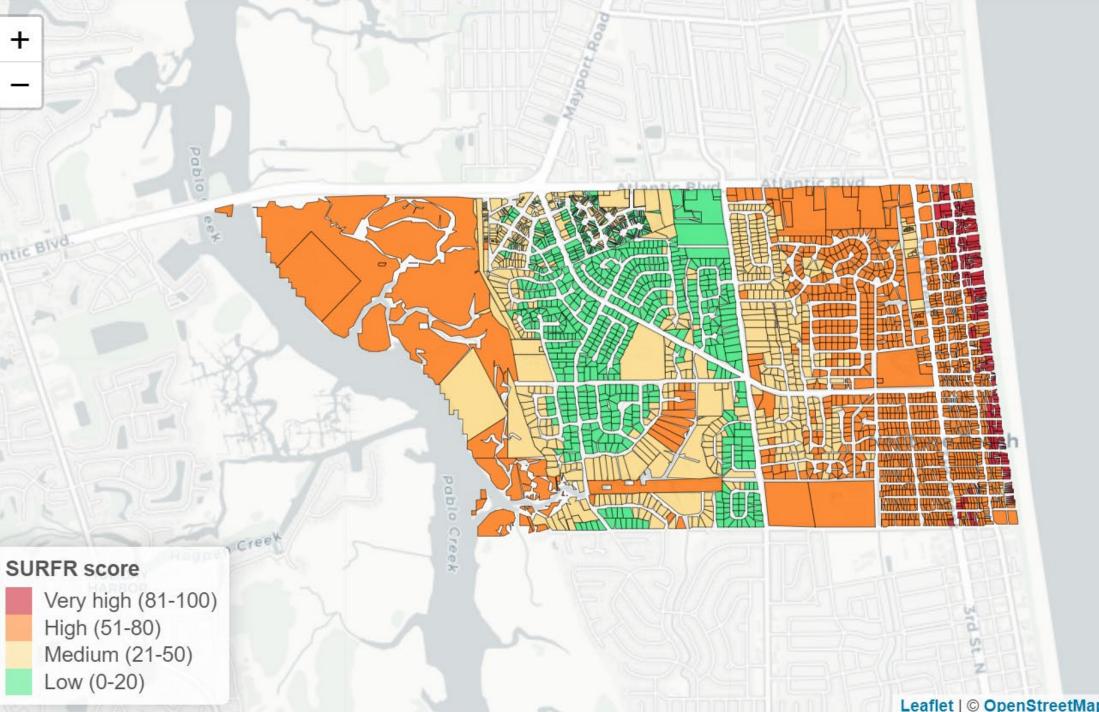
Erin K Rothman, MSc erin@stormsensor.io





StormSensor empowers leaders to create communities that thrive by providing actionable insights linking critical infrastructure and climate intelligence data







Leaflet | © OpenStreetMap contributors © CARTO



WHY DFCR: Digitalization of critical infrastructure provides the city with highresolution insights that enable cities to (1) **understand** issues impacting their infrastructure, (2) **respond** better during (and prior to) storms, and (3) **design** capitalintensive infrastructure projects and efficiently *as we adapt to climate change*.

- **Short-term applications:** ongoing maintenance, storm prep, and emergency response.
- Mid-term applications: site, deploy, and manage controls at key junctures.
- Long-term applications: effective capital improvements for climate resilience.

The following slides show how the data are analyzed across a similar system with tailwater impacts. Note that the storms included are not statistically significant, yet they still have a considerable impact on the stormwater system.



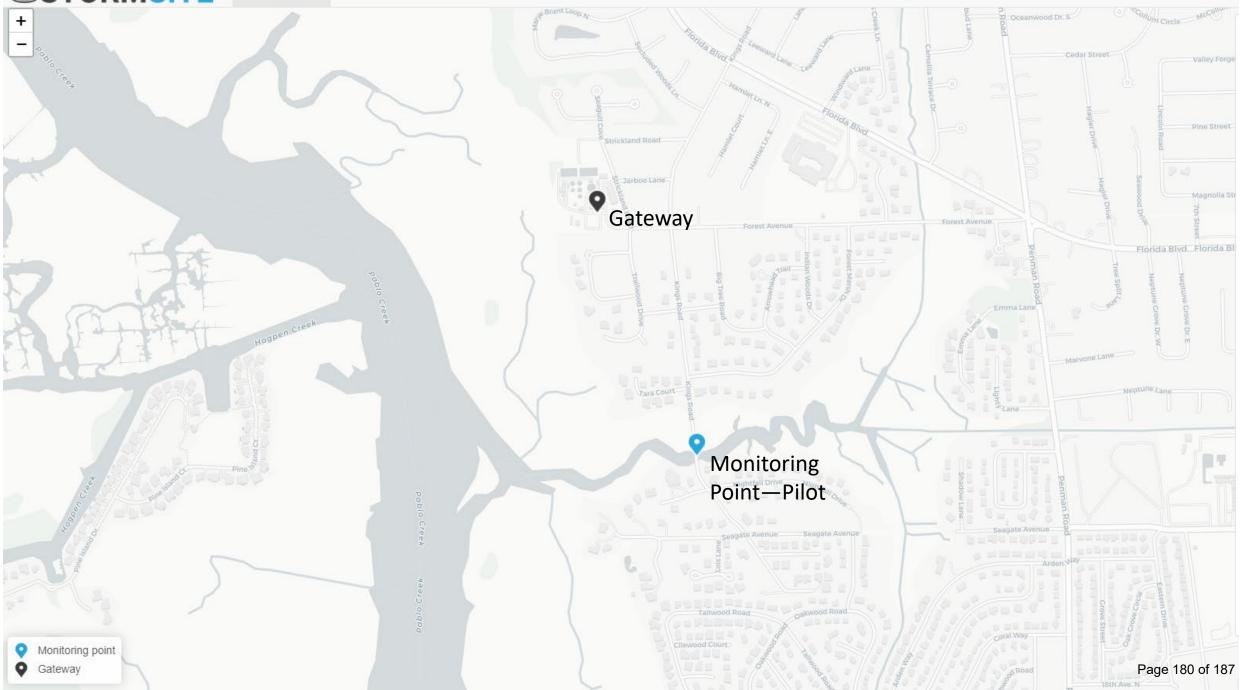
StormSensor empowers leaders to create communities that thrive by providing actionable insights linking critical infrastructure and climate intelligence data.

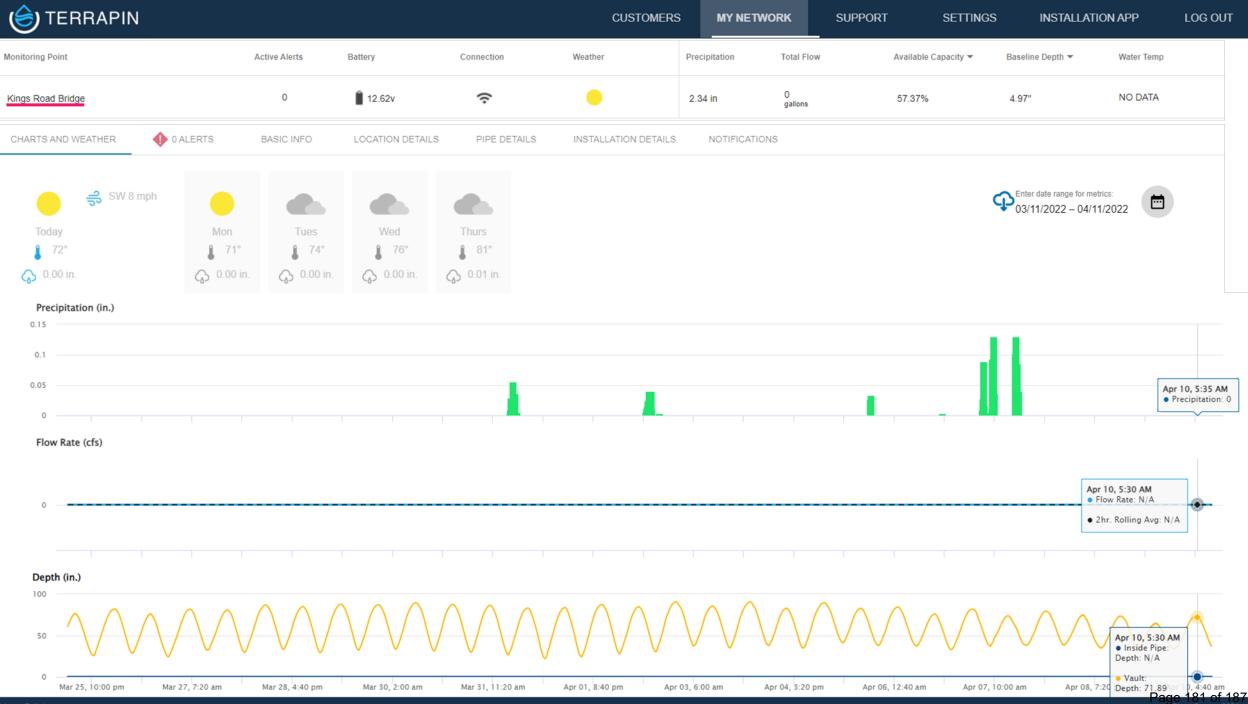
We do this by digitalizing critical infrastructure for climate resilience:

- DFCR -



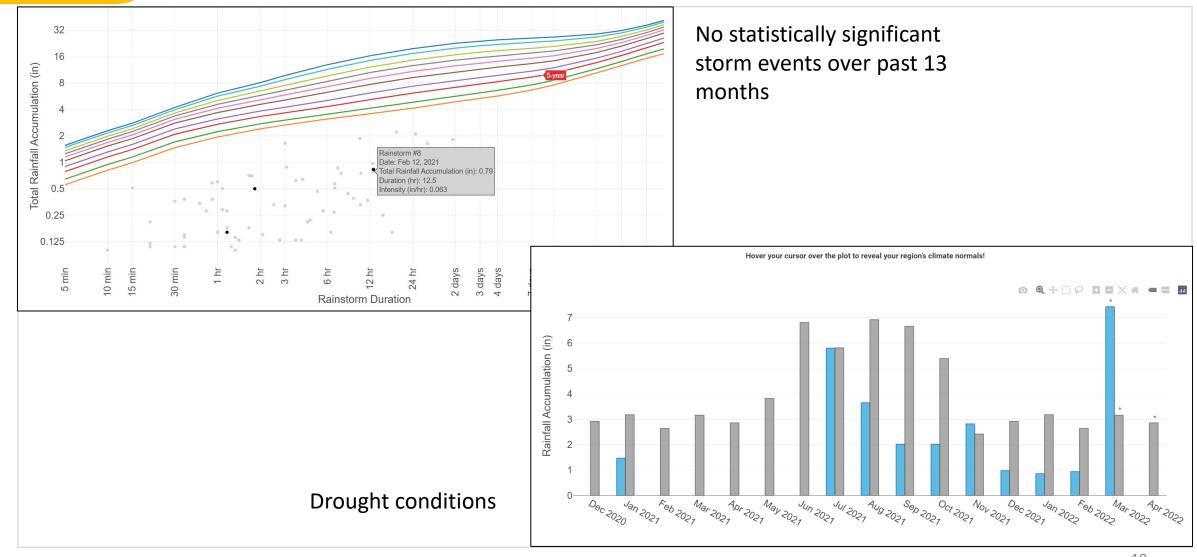






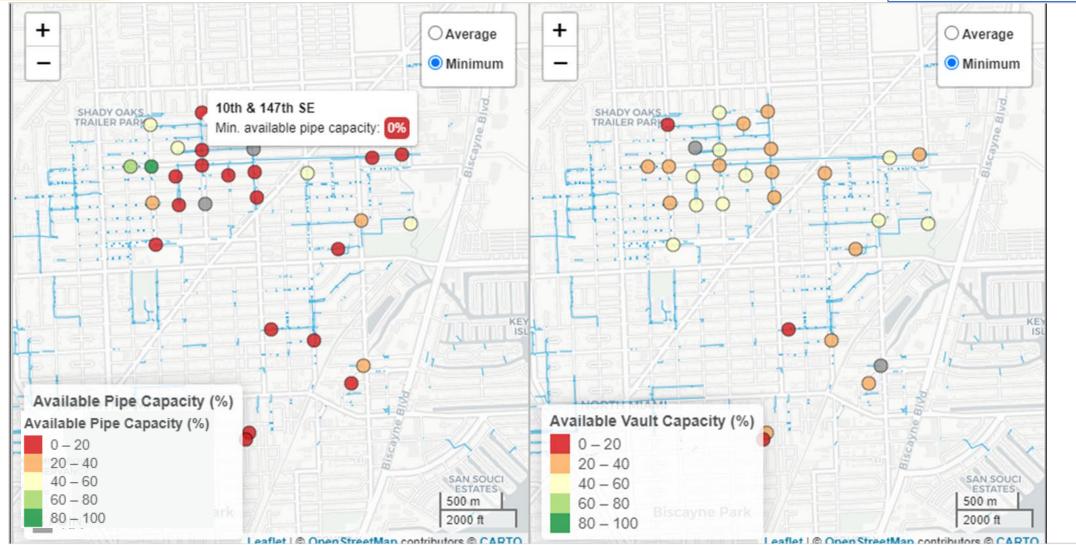
Privacy Policies

INITIAL RESULTS



10 Page 182 of 187 FUTURE: CHART + MAP VIEWS (EX.)

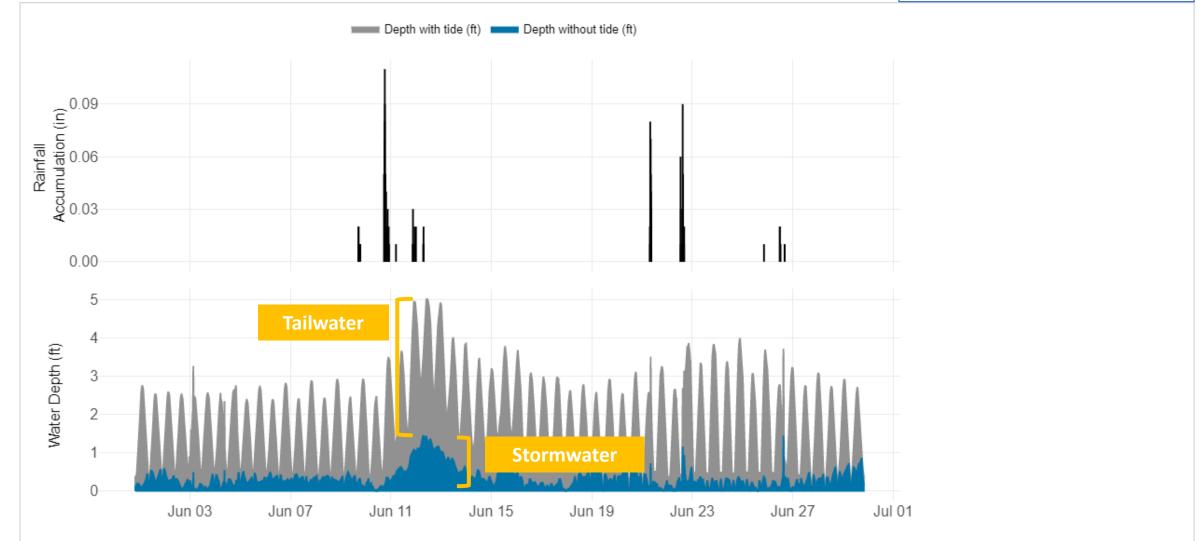




11 Page 183 of 187

FUTURE: CHART + Map views (ex.)

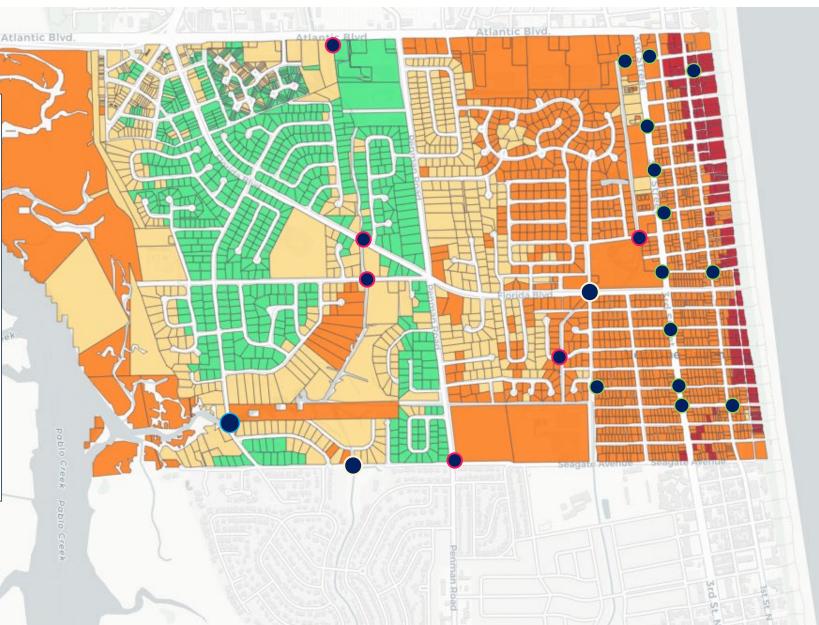




PROPOSED EXPANSION

Suggested installation locations for monitoring points:

- Along 3rd Street/A1A for retrofit sizing/confirmation. Actual locations may vary due to field conditions.
- At four culverts that have been identified as bottlenecks (Florida Blvd, Forest Ave, Davis St, and Bay St)
- At the two culverts (Atlantic Blvd and Seagate Ave) where stormwater enters the Hopkins Creek system from Atlantic Beach and Jacksonville Beach
- Two additional culverts (Jim)



SURFR score Bor Very high (81-100) High (51-80) Medium (21-50) Low (0-20)

Terrapin[™] Software and Sensor Network: 20 Scutes (Depth Only) and Associated Analyses

ltem #	Service/Product	Description	Frequency	Unit	# Units	Pricing per Unit		Price Extension
YEAR 1								
#1	Network Design & Scouting (services)	Network design	One-time	Service	1.0	\$	3,000	\$ 3,000
#2	Installation of Scutes and Gateway (services)	Field installation of all hardware	One-time	Crew Days	4.5	\$	4,500	\$ 20,250
#3	Gateway-Hardware (purchase)	LoRa network hardware & installation	One-time	Gateway	3.0	\$	4,200	\$ 12,600
#4	Gateway-Software (license)	LoRa network communication services	Annual Cost	License	3.0	\$	1,650	\$ 4,950
#5	Monitoring Points (lease)	Scute™ sensors & Terrapin™ Software	Annual Cost	Monitoring Points	20.0	\$	1,200	\$ 24,000
#6	Annual Maintenance (services)	Full turn-key service, including parts & labor	Annual Cost	Monitoring Points	20.0	\$	800	\$ 16,000
#7	Terrapin (software setup; services)	System setup	One-time	Service	1.0	\$	500	\$ 500
#8	Terrapin+ (software license)	<i>Custom weather + real-time alerts & notifications</i>	Annual Cost	License	1.0	\$	2,500	\$ 2,500
#9	Terrapin+ (software license) extra seats over 20	Additional Terrapin+ licenses (if any)	Annual Cost	License	0.0	\$	100	\$ -
#10	SURFR Analysis	Custom urban flood risk analysis	Annual Cost	License	0.0	\$	4,950	\$ -
#11	CloudBurst Analysis	Storm/sewer system performance analyses	Monthly	Reports	12.0	\$	625.00	\$ 7,500
	Total Year 1					\$ 91,300		
	Total Year 2				P	age 186 of <u>5</u>8,7950		

STORMSITE

Interactive map Monitoring point table

ble Gateway table Data sources

+Save StormSite Project _ Data layers MARSH OVERLOOK None Satellite map Road map Atlantic Blvd Culvert City boundary Layer opacity E-75MH MH 0 E-94MH Atlantic Blvd Suggested/recommended 70 % ic Blvd installation locations for E-108MH City infrastructure Pipes Color by E-118MH monitoring points & gateways. Structures Color by E-123MH Florida Blvd Culvert Bay St Culvert 0 StormSensor network Water Plant/Pump Station C Monitoring points: 20 E-134MH E-141MH Forest Ave Culvert Public Works Gateway Gateways: 3 0 0 Monitoring points Marker labels E-152MH Jorida Blud Gateways 0 mi Davis St Culvert E-170MH E-201MH Click map to add points E-1/6MH E-174MH Kings Road Bridge OFF Seagate Ave Culvert Tools Measure distance Compare elevation Clear Additional height (m) Monitoring point Gateway 0 Leaflet | © OpenStr Rage \$8700 frs 87 ARTO